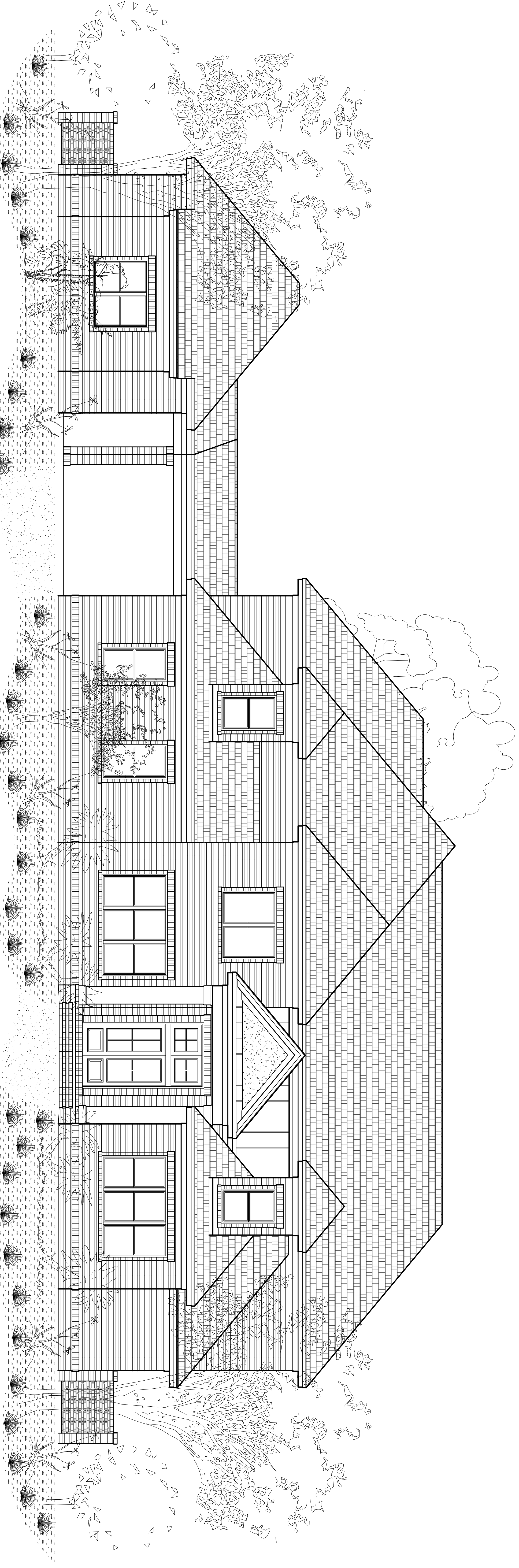


A NEW RESIDENCE FOR MR. & MRS. ROBERT BECK



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D1	DRAINAGE PLAN
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F02	FOUNDATION PLAN DETAILS & NOTES
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F02	SECOND FLOOR PLAN
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EL2	RIGHTSIDE ELEVATION / LEFTSIDE ELEVATION
EL3	GRADE / POOL HOUSE ELEVATIONS
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S01	TYPICAL WALL SECTION
S02	2-5/8" RCY WALL SECTION
E1	FIRST FLOOR ELECTRICAL PLAN
E2	SECOND FLOOR ELECTRICAL PLAN
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S2	STRUCTURAL DETAILS
D01	DOCK TIE DETAILS & NOTES
D11	FIRST FLOOR DOCK TIE LAYOUT PLAN
D12	SECOND FLOOR DOCK TIE LAYOUT PLAN

GENERAL NOTES:
 1. All construction shall conform to the International Building Code, latest edition of the International Conference of Building Officials, with possible modifications by local code administration, shall govern where not shown.
 2. Site Work: includes all demolition, site clearing, excavation, filling, grading, drainage, and related items necessary to complete the project.
 3. In the event of conflict between pertinent codes and regulations and referenced standards of these Specifications, the more stringent provisions shall govern.
 4. The Engineer shall be responsible for this work having been prepared in accordance with generally accepted engineering practice to meet minimum requirements of the latest edition of the Southern Building Code Book of Specifications and Standards.
 5. Specifications and Drawings indicate finished structures. Builder shall be responsible for construction methods, procedures, otherwise in the correct documents.
 6. Construction leads shall not exceed structure nor shall they be used to support any other structure.
 7. Builders shall verify all materials, dimensions, weight conditions shown on Structural or noted in Structural Specifications, or any variations within Structural Drawings and Specifications, or any other drawings or notes, before commencement of any work effected by such work.
 8. All materials, components, fasteners, assemblies, etc. shall be handled and installed in accordance with manufacturer's instructions and approved by the Engineer. All products are called for generic equals which meet applicable standards and specifications may be used.
 9. All manufactured materials, components, fasteners, assemblies, etc. shall be handled and installed in accordance with manufacturer's instructions and approved by the Engineer. All products are called for generic equals which meet applicable standards and specifications may be used.
 10. Designers shall investigate site during clearing and earthwork operations for utility encroachments or buried structures such as foundations, etc. and shall be notified immediately.
 11. Owner shall be notified immediately.

DESIGNER
 JOANN GREEN DESIGNS, LLC.
 401 WOODSIDE XING,
 SAVANNAH, GEORGIA 31405
 (912) 756-6751

BUILDER
 MICHAEL ROBERTS CONSTRUCTION, LLC
 84 EDESEL DRIVE, SITE A
 SAVANNAH, GEORGIA 31414
 (912) 663-3141

THESE PLANS HAVE BEEN REVIEWED IN ACCORDANCE WITH THE 2018 IRC (INTERNATIONAL RESIDENTIAL CODE), WITH GEORGIA AMENDMENTS (2020), 2018 INTERNATIONAL BUILDING CODE WITH GEORGIA AMENDMENTS (2020), AND THE 2018 ASCE 7-16, WINDSPEED 133 0-SEC PEAK GUST IN MPH). THIS RESIDENCE IS WITHIN ASCE 7-16 RISK CATEGORY II, WITH AN ULTIMATE WIND SPEED OF 133 MPH, AND A NOMINAL WIND SPEED OF 75 MPH.

CURRENT BUILDING CODE REQUIREMENTS FOR GEORGIA
 2018 INTERNATIONAL RESIDENTIAL CODE WITH GEORGIA AMENDMENTS (2020)
 2018 INTERNATIONAL BUILDING CODE WITH GEORGIA AMENDMENTS (2020)
 2018 INTERNATIONAL FIRE CODE WITH GEORGIA AMENDMENTS (2020)
 2018 INTERNATIONAL PLUMBING CODE WITH GEORGIA AMENDMENTS (2020)
 2018 INTERNATIONAL MECHANICAL CODE WITH GEORGIA AMENDMENTS (2020)
 2020 INTERNATIONAL ELECTRICAL CODE WITH GEORGIA AMENDMENTS (2021)
 2019 INTERNATIONAL ENERGY CONSERVATION CODE WITH GEORGIA AMENDMENTS (2020)
 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE WITH GEORGIA AMENDMENTS (2020)

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**A NEW RESIDENCE FOR
 MR. & MRS. ROBERT BECK**
 LOT # 12 * 84 BLUFF VIEW DRIVE * "KINGSALE BLUFF"
 RICHMOND HILL, BRYAN COUNTY, GEORGIA 31324

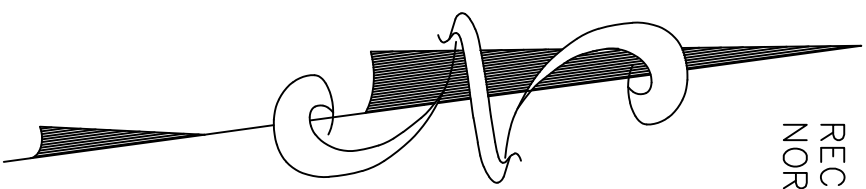
JOANN GREEN DESIGNS, LLC.
 64 EDESEL DRIVE, RICHMOND HILL, GEORGIA 31324
 (912) 756-6751 joann.green.designs@gmail.com

DESIGNED BY: J.B.E.	DRAWN BY: J.B.E.	CHECKED BY: J.B.E.	DATE: 11/2/21
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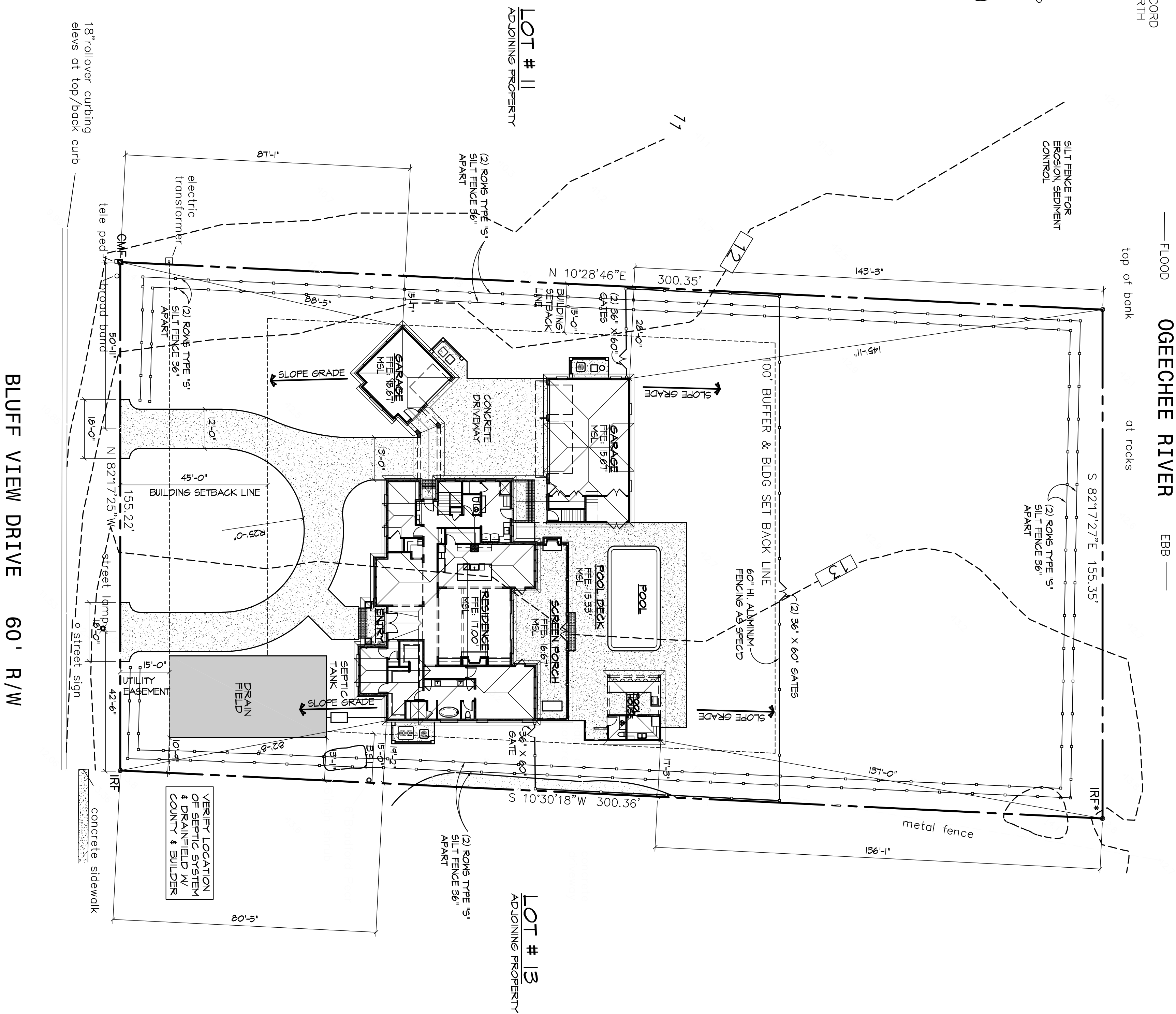
STRUCTURAL

REVISIONS
7/12/22
7/27/22

SHEET NO.
CVR
 OF



RECORD
NORTH



— FLOOD —
GEECHEE RIVER EBB —

top of bank
at rocks

BLUFF VIEW DRIVE 60' R/W

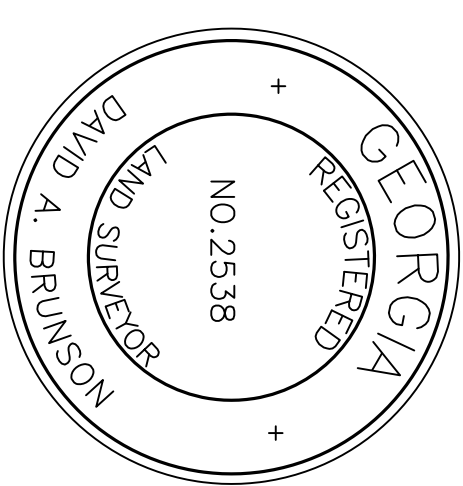
SITE PLAN

SCALE: 1" = 20.00'

RESIDENTIAL SITE NOTES

- 1) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ADOPTED BRYAN COUNTY BUILDING CODES.
- 2) ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL DATUM.
- 3) BUILDING AREA AND ALL AREAS TO BE PAVED SHALL BE STRIPPED OF ALL VEGETATION, TOP SOIL, AND ROOT SYSTEMS.
- 4) SITE DRAINAGE SHALL BE ESTABLISHED TO PREVENT PONDING WATER CONDITIONS ON THE SURFACE AND TO ALLOW RAPID RUN-OFF OF STORM WATER.
- 5) MAINTAIN FOOTING AND SLAB AREAS IN A DRY AND COMPACTED CONDITION UNTIL THE CONCRETE IS PLACED. ANY AREAS THAT ARE SOFTENED BY WATER OR BY CONSTRUCTION ACTIVITY SHALL BE REMOVED AND RECOMPACTED TO THE REQUIRED DENSITY AND BEARING.
- 6) CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH LOCAL REQUIREMENTS.
- 7) ALL WATER, DRAINAGE & RUN OFF SHALL DRAIN TO ROAD CATCH BASIN, OR MARSH; NO STANDING WATER SHALL BE ALLOWED. NO WATER RUN OFF SHALL ENCRUCH ON ADJACENT RESIDENTIAL PROPERTIES.
- 8) MINIMUM GRADE SLOPE SHALL FALL 5% OR 6" WITHIN THE FIRST 10' AWAY FROM THE FOUNDATION WALL IN ALL DIRECTIONS. GRADE SLOPE BEYOND 10' FROM FOUNDATION WALL SHALL BE MINIMUM 2% SLOPE.
- 9) HIGHEST FINISHED GRADE AT ENTIRE PERIMETER OF BUILDING SHALL BE A MINIMUM OF 6" FROM TOP OF LOWEST FINISHED SLAB.

CMF = CONCRETE MARKER FOUND
IRS = IRON ROD FOUND
IRS* = BENT / CLEANING



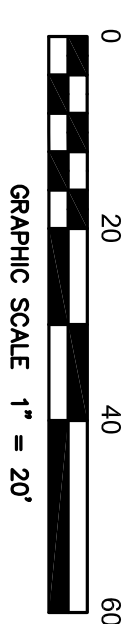
SOUTHEAST GEORGIA SURVEYING, P.C.
P.O. BOX 968, RICHMOND HILL, GA 31324
PH (912)756-2211 FAX (912)756-5908
L5F000423
PHYSICAL ADDRESS
518 EISEL DRIVE, SUITE D
RICHMOND HILL, GA 31324



A TOPOGRAPHICAL SURVEY OF LOT 12 KINSALE BLUFF

20TH G.M.D.
BRYAN COUNTY, GEORGIA

PREPARED FOR: MICHAEL ROBERTS CUSTOM HOMES LLC
OCTOBER 6, 2021 JOB #21-27

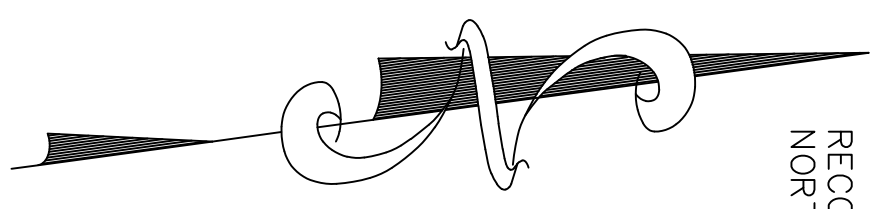


THIS SURVEY IS BASED ON THE RECORDED SUBDIVISION MAP AT ACCORDING TO F.E.M.A. MAPS FOR BRYAN COUNTY DATED 8/2/2019 MAP NO. 13029C032SD. THIS PROPERTY DOES NOT LIE WITHIN A DESIGNATED SPECIAL FLOOD HAZARD AREA BUT LIES IN SHADED ZONE X.
CURRENT OWNER: ROBERT & ANNETTE BECK

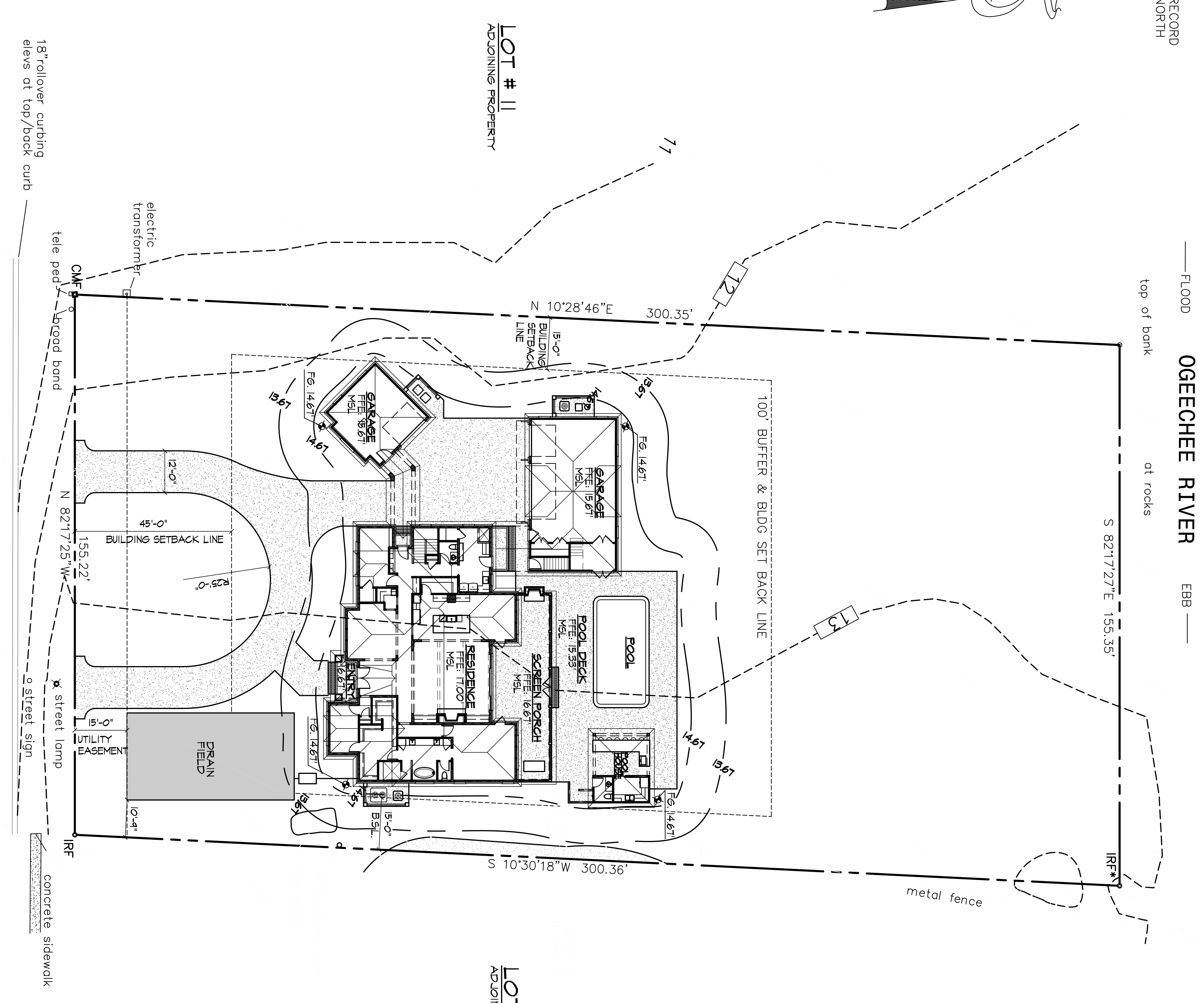
LOT 12	64 BLUFF VIEW DRIVE "KINSALE BLUFF" 20TH G.M.D. BRYAN COUNTY, GEORGIA 31324 PARCEL NUMBER: 0673 065 ZONING: R-15 AREA OF LOT: 1.07 AC. FLOOD ZONE: X FEE: 11.00' NSL
LOT COVERAGE	RESIDENCE: 6203 S.F. (INCLUDES GARAGES & POOL HOUSE) POOL / POOL TERRACE: 2031 S.F. DRIVEWAY / WALKS: 3407 S.F. AREA OF LOT: 46,584 S.F. % OF LOT COVERAGE: 26.0 %

DO NOT SCALE THE DRAWINGS. THE DESIGNER WILL NOT ACCEPT RESPONSIBILITY FOR CONSTRUCTION ERRORS DUE TO SCALING OF THE DRAWINGS. VERIFY ALL DIMENSIONS, FINISHES, FIXTURES, ETC. BEFORE BEGINNING CONSTRUCTION. IF DIMENSIONS OR DETAILS ARE OMITTED, INCORRECT, OR NOT CLEAR, THE CONTRACTOR SHALL CONSULT WITH THE DESIGNER FOR CLARIFICATION.

	A NEW RESIDENCE FOR MR. & MRS. ROBERT BECK LOT # 12 * 64 BLUFF VIEW DRIVE * "KINSALE BLUFF" BRYAN COUNTY, GEORGIA		JOANN GREEN DESIGNS, LLC. 901 WOODSIDE XING, SAVANNAH, GEORGIA 31405 (912) 756-6751 joann.green.designs@gmail.com		STRUCTURAL	REVISIONS 11/8/21 11/12/21	SHEET NO. ST1 OF
	DESIGNED BY: J.B.S.	DRAWN BY: J.B.S.	CHECKED BY: J.B.S.	DATE: 9/18/21			



RECORD
NORTH



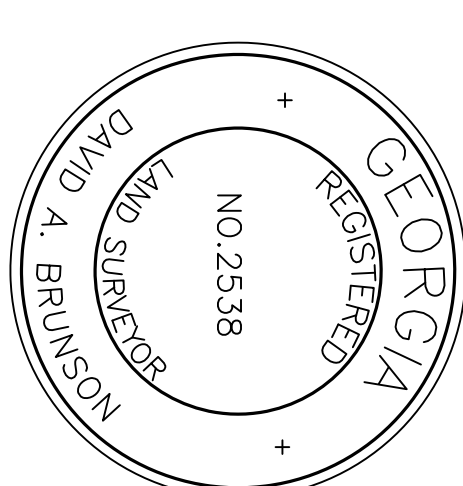
— FLOOD
OGEECHEE RIVER
EBB —
top of bank
at rocks

BLUFF VIEW DRIVE 60' R/W

DRAINAGE PLAN

SCALE: 1" = 20.00'

CMF=CONCRETE MARKER FOUND
IRS = IRON ROD FOUND
IRS* = BENT/LEANING



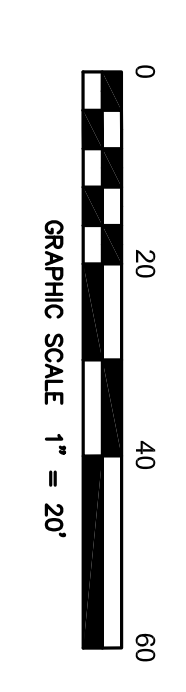
SOUTHEAST GEORGIA SURVEYING, P.C.
P.O. BOX 9688 RICHMOND HILL, GA 31324
PH (912)756-2811 FAX (912)756-5808
LSTF000423
PHYSICAL ADDRESS
518 DISEL DRIVE, SUITE D
RICHMOND HILL, GA 31324

--- EXISTING CONTOUR
- - - - - NEW CONTOUR
BUILDER WILL NOT CREATE ADVERSE DRAINAGE CONDITIONS SUCH AS RIDGES OR BOWLS ON ADJACENT LOTS.

**A TOPOGRAPHICAL SURVEY OF
LOT 12 KINSALE BLUFF
20TH G.M.D.**

BRYAN COUNTY, GEORGIA

PREPARED FOR: MICHAEL ROBERTS CUSTOM HOMES LLC
OCTOBER 6, 2021 JOB #21-27

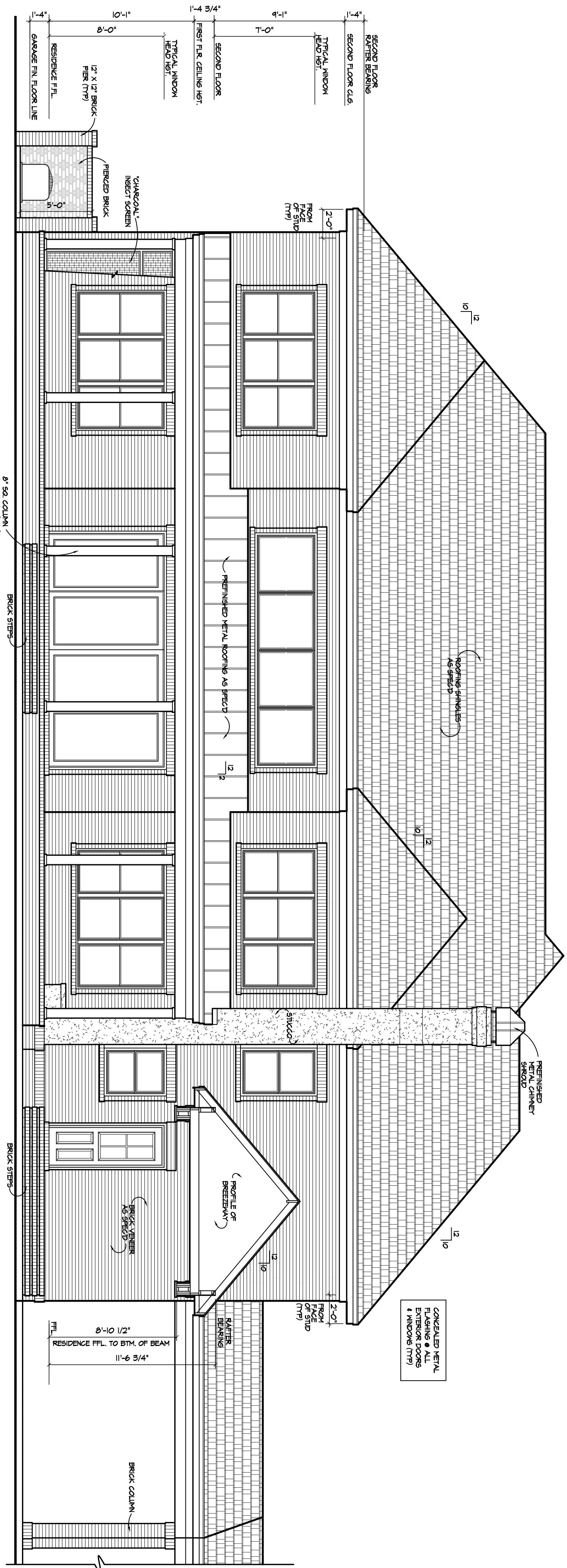


THIS SURVEY IS BASED ON THE RECORDED SUBDIVISION MAP AT PLAT SLIDE 458 PAGE 3 (BASIS FOR BEARINGS SHOWN).
ACCORDING TO F.E.M.A. MAPS FOR BRYAN COUNTY DATED 8/2/2019 MAP NO. 1302900325D, THIS PROPERTY DOES NOT LIE WITHIN A DESIGNATED SPECIAL FLOOD HAZARD AREA BUT LIES IN SHADED ZONE X.
CURRENT OWNER: ROBERT & ANNETTE BECK

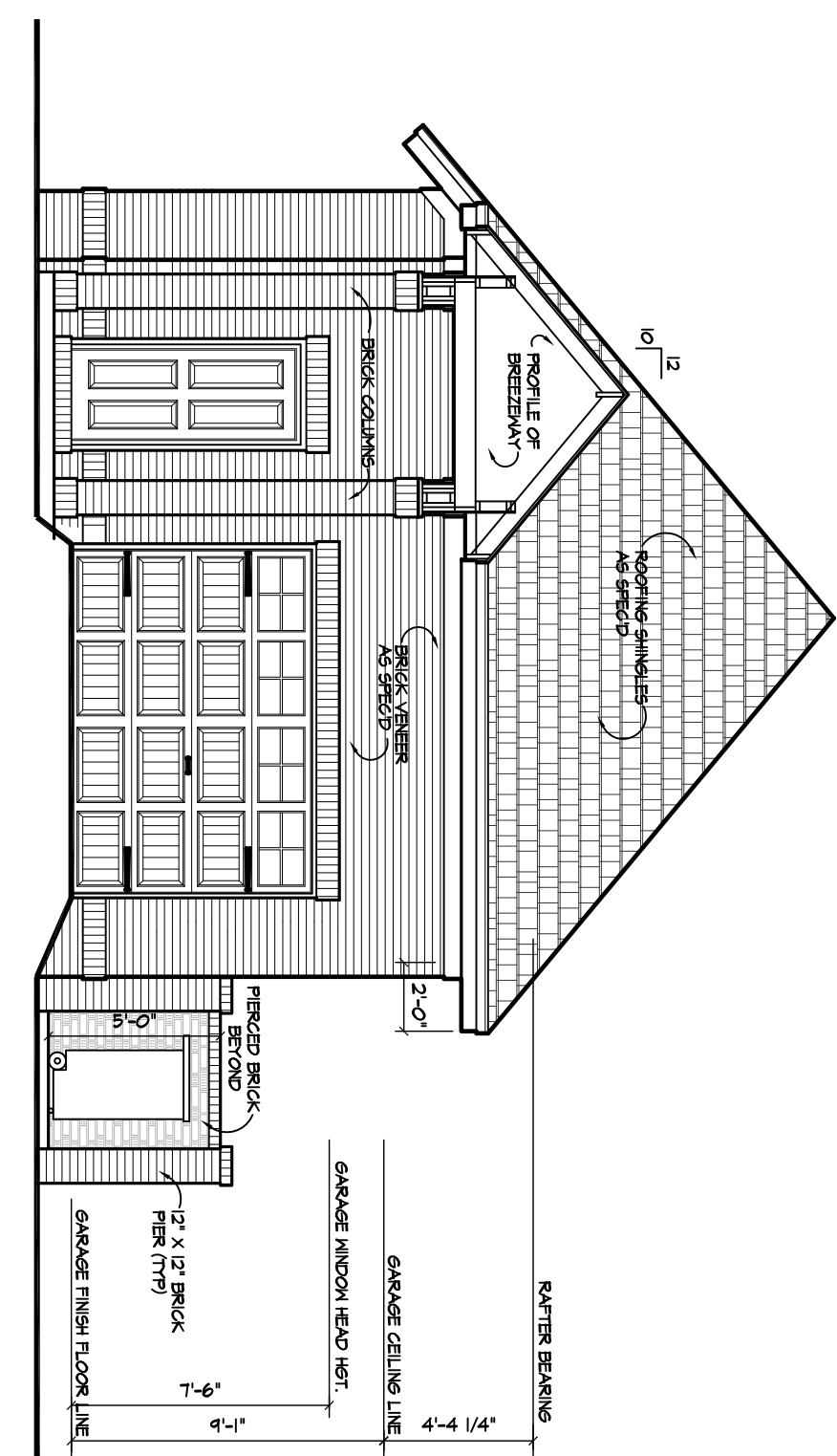
LOT 12	84 BLUFF VIEW DRIVE
	"KINSALE BLUFF"
	20TH G.M.D.
	BRYAN COUNTY, GEORGIA 31324
PARCEL NUMBER:	0675 065
ZONING:	R-15
AREA OF LOT:	1.07 AC.
FLOOD ZONE:	X
FFE:	1700' MSL
LOT COVERAGE	
RESIDENCE:	6203 S.F.
(INCLUDES GARAGES & POOL HOUSE)	
POOL / POOL TERRACE:	2037 S.F.
DRIVENWAY / WALKS:	3407 S.F.
AREA OF LOT:	46584 S.F.
% OF LOT COVERAGE:	26.0 %

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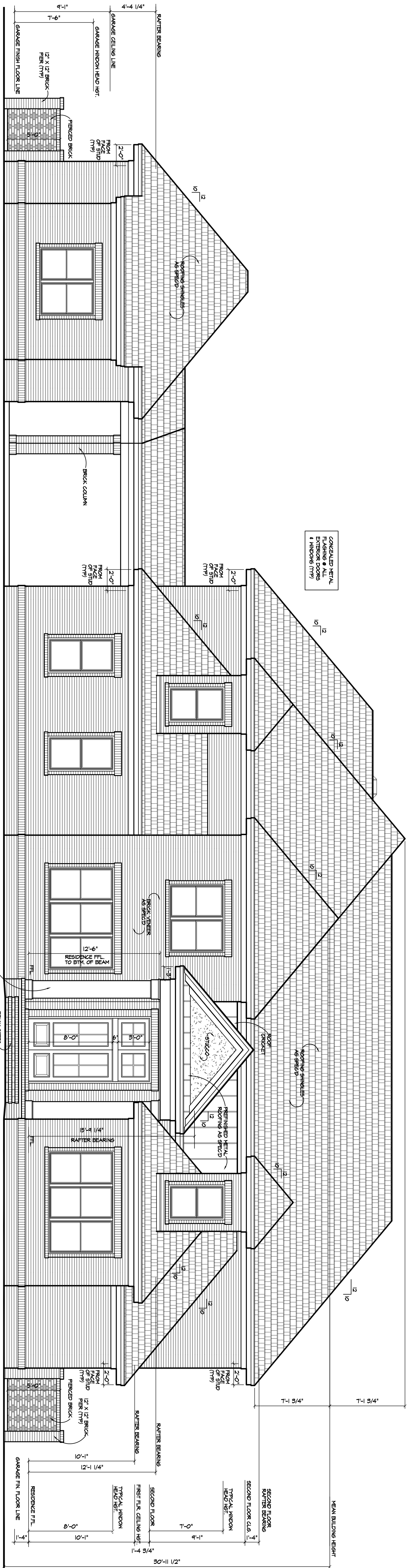
	<p>A NEW RESIDENCE FOR MR. & MRS. ROBERT BECK LOT # 12 * 84 BLUFF VIEW DRIVE * "KINSALE BLUFF" BRYAN COUNTY, GEORGIA</p>		<p>JOANN GREEN DESIGNS, LLC. 901 WOODSIDE XING, SAVANNAH, GEORGIA 31405 (912) 756-6751 joann.green.designs@gmail.com</p>		<p>STRUCTURAL</p>	<p>REVISIONS 11/8/21</p>	<p>SHEET NO. D1 OF</p>
	<p>DESIGNED BY: J.B.S.</p>	<p>DRAWN BY: J.B.S.</p>	<p>CHECKED BY: J.B.S.</p>	<p>DATE: 9/18/21</p>			



REAR ELEVATION
SCALE: 1/8" = 1'-0"



GARAGE #2 RIGHTSIDE ELEVATION
SCALE: 1/8" = 1'-0"



GARAGE #2 FRONT ELEVATION
SCALE: 1/8" = 1'-0"

FRONT ELEVATION
SCALE: 3/8" = 1'-0"



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**A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK**
LOT # 12 * 84 BLUFF VIEW DRIVE * "KINSALE BLUFF"
BRYAN COUNTY, GEORGIA 31324

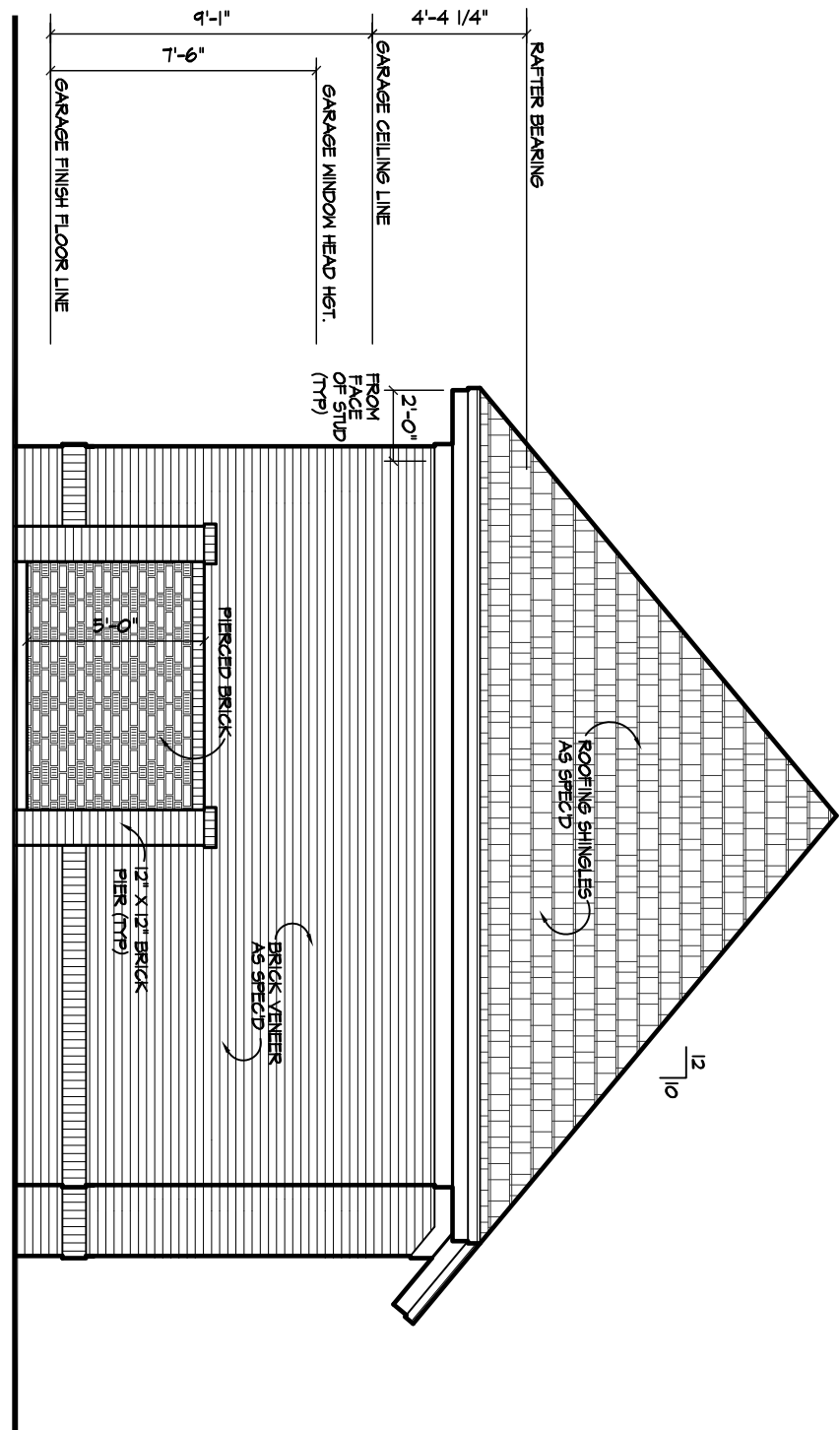
JOANN GREEN DESIGNS, LLC.
901 WOODSIDE KING., SAVANNAH, GEORGIA 31405
(912) 655-6248 joann.green.designs@gmail.com

DESIGNED BY: J.B.G.	DRAWN BY: J.B.G.	CHECKED BY: J.B.G.	DATE: 9/19/21
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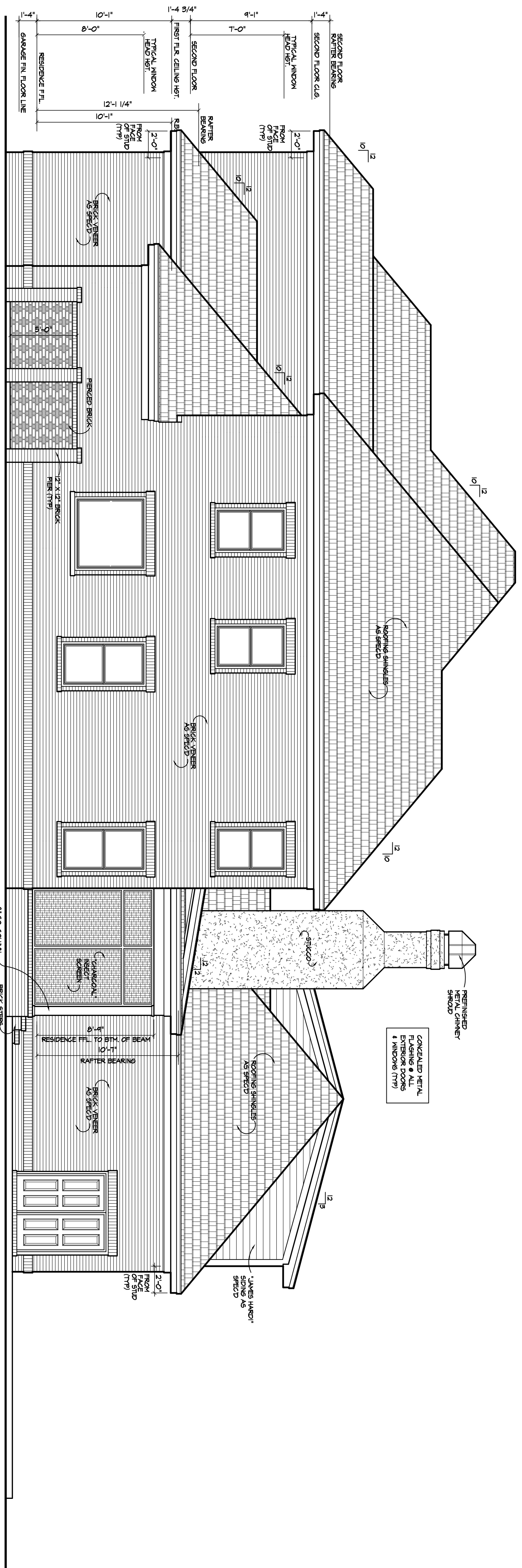
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01/04/21
02/08/21
03/11/21
04/07/21
05/11/21

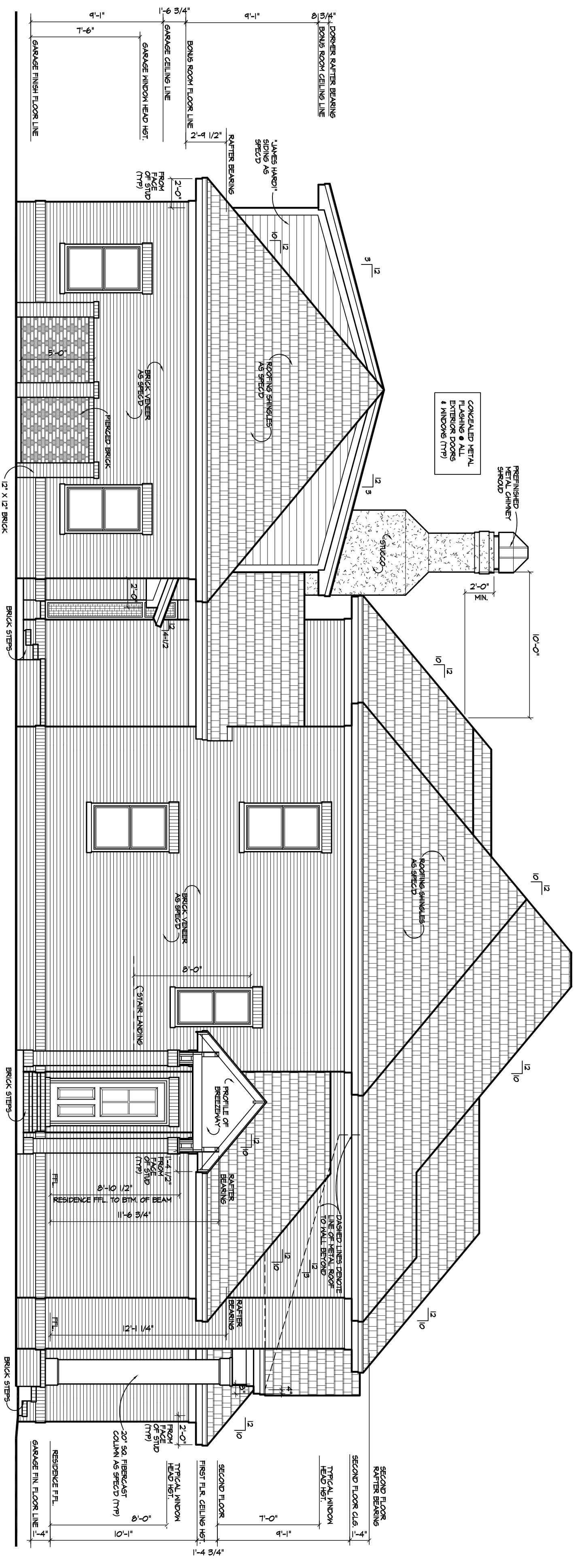
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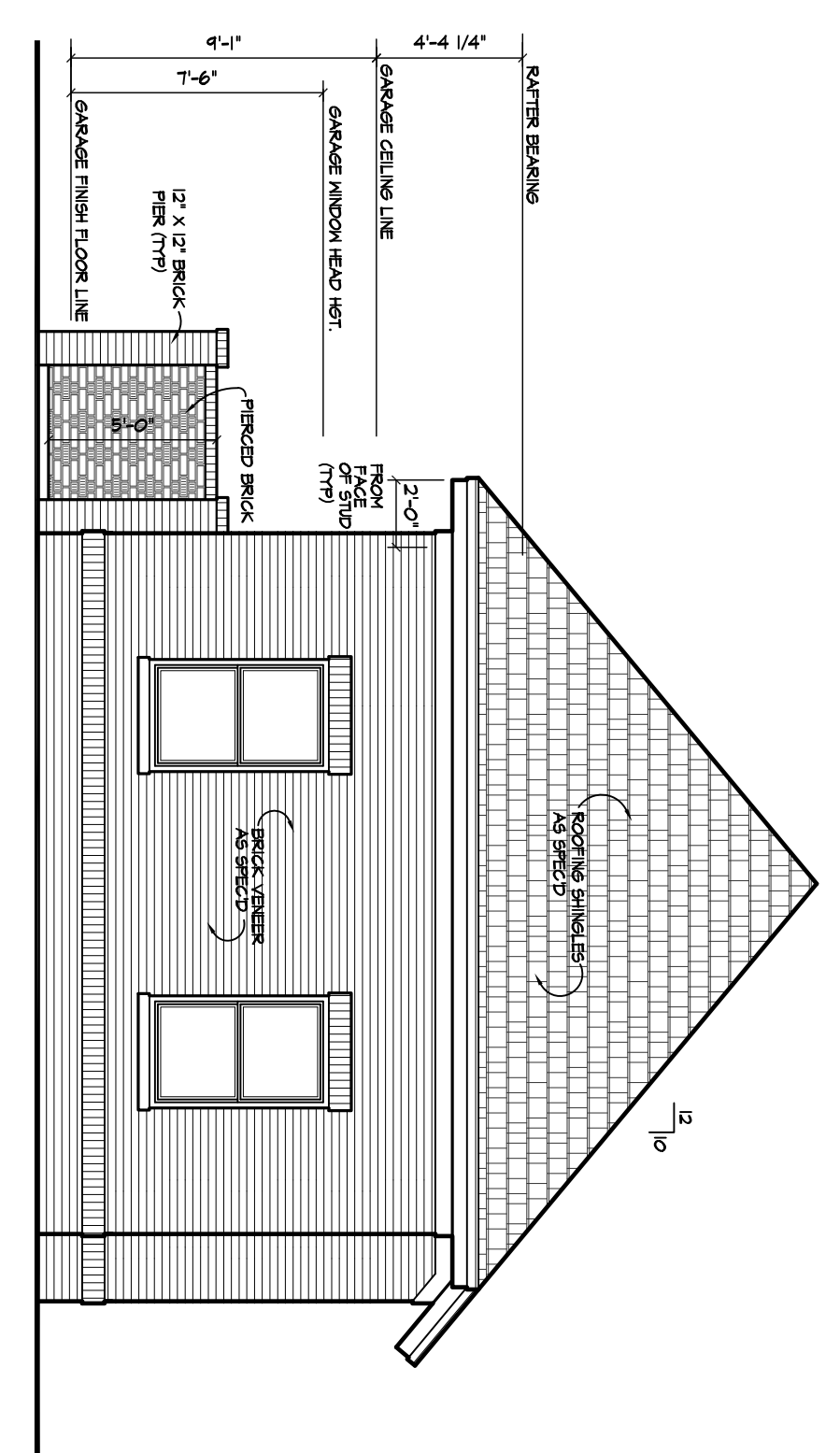
GARAGE #2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHTSIDE ELEVATION
SCALE: 3/8" = 1'-0"



LEFTSIDE ELEVATION
SCALE: 3/8" = 1'-0"



GARAGE #2 LEFTSIDE ELEVATION
SCALE: 1/4" = 1'-0"



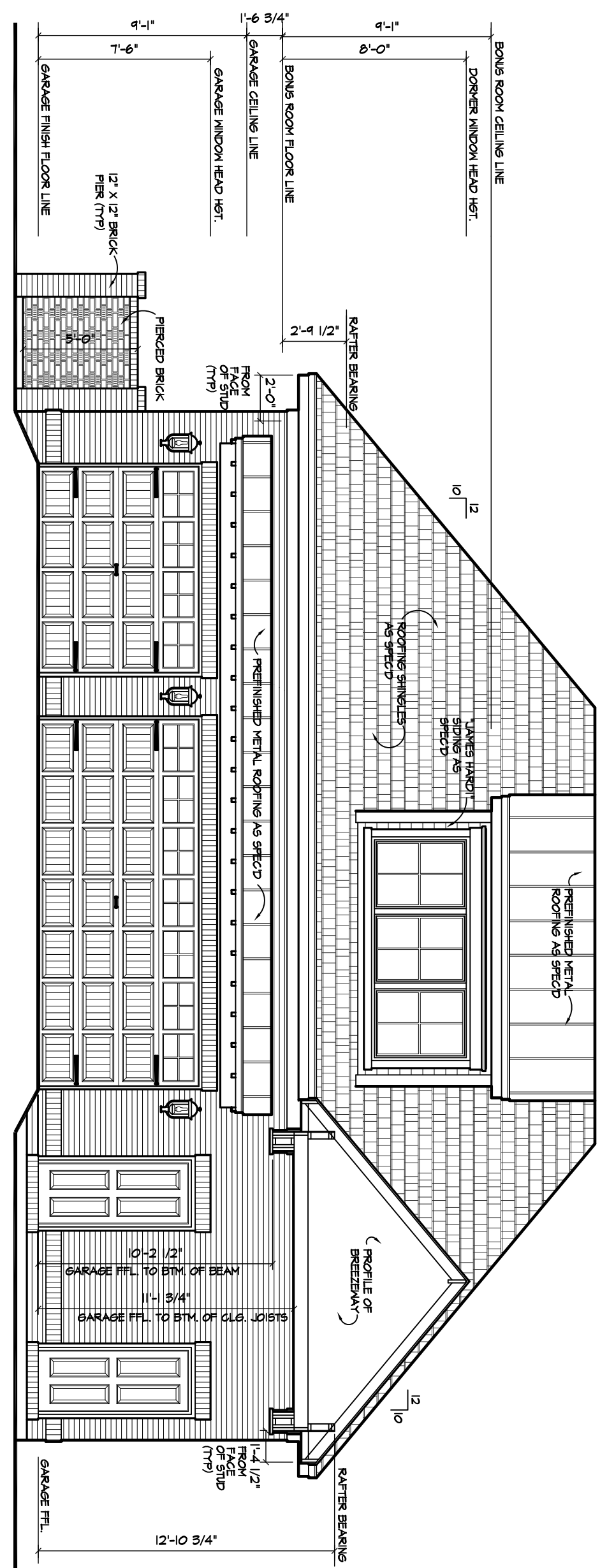
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A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK
 LOT # 12 * 84 BLUFF VIEW DRIVE * "KINGSALE BLUFF"
 BRYAN COUNTY, GEORGIA 31324

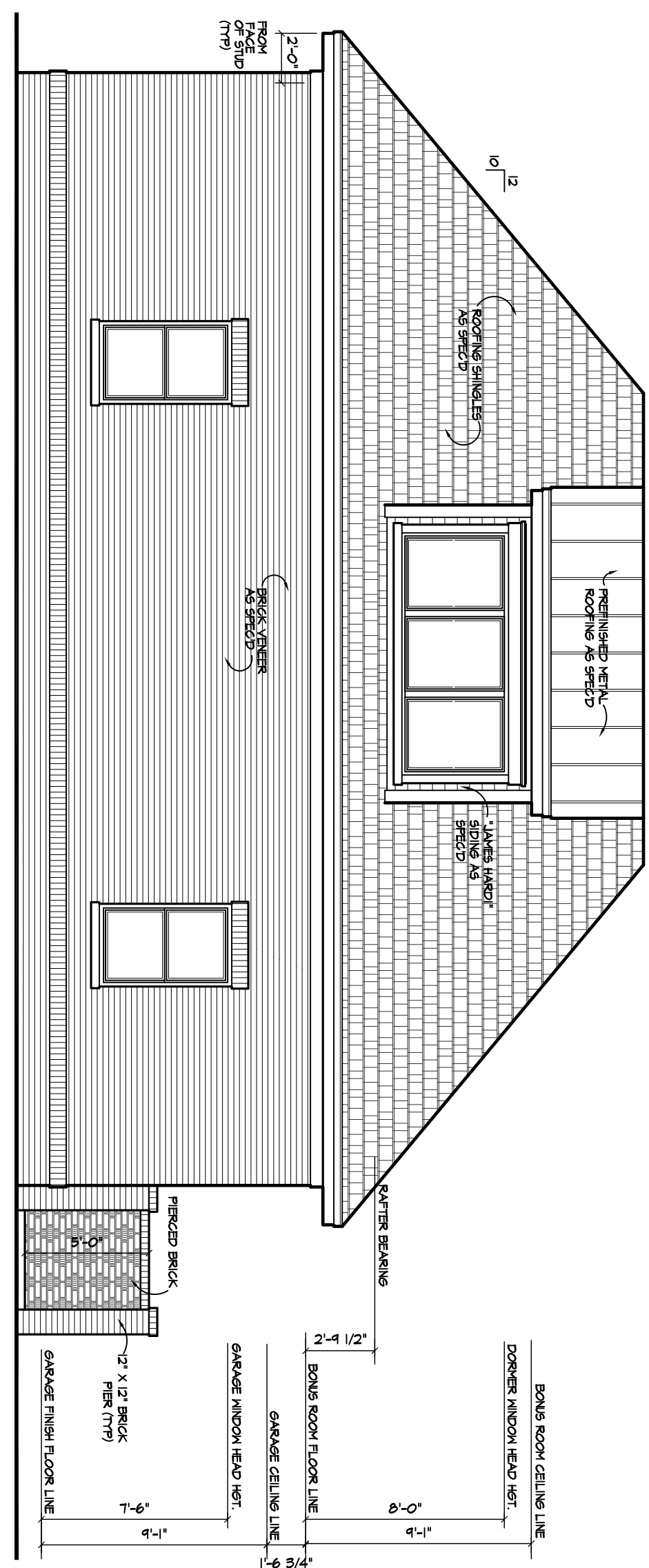
JOANN GREEN DESIGNS, LLC.
 901 WOODSIDE XING., SAVANNAH, GEORGIA 31405
 (912) 655-6248 joann.green.designs@gmail.com

DESIGNED BY: J.B.G.	DRAWN BY: J.B.G.	CHECKED BY: J.B.G.	DATE: 9/19/21
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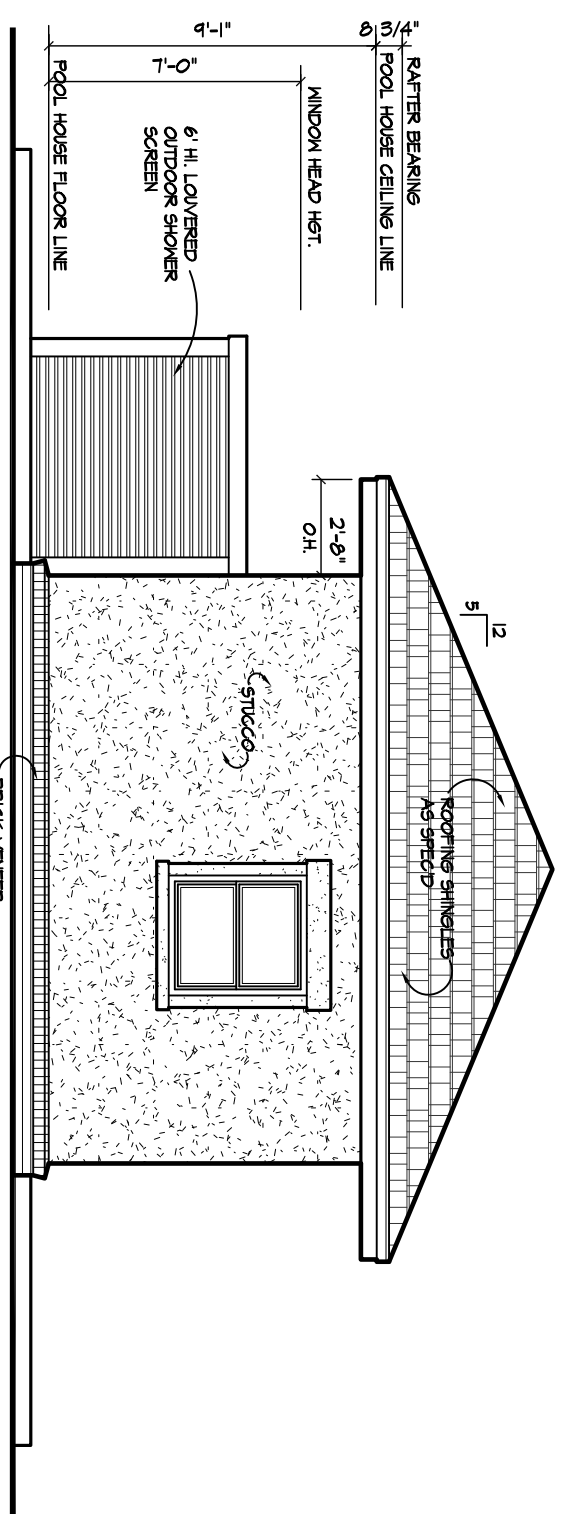
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	1/19/21 2/10/21 7/15/21	EL2 OF



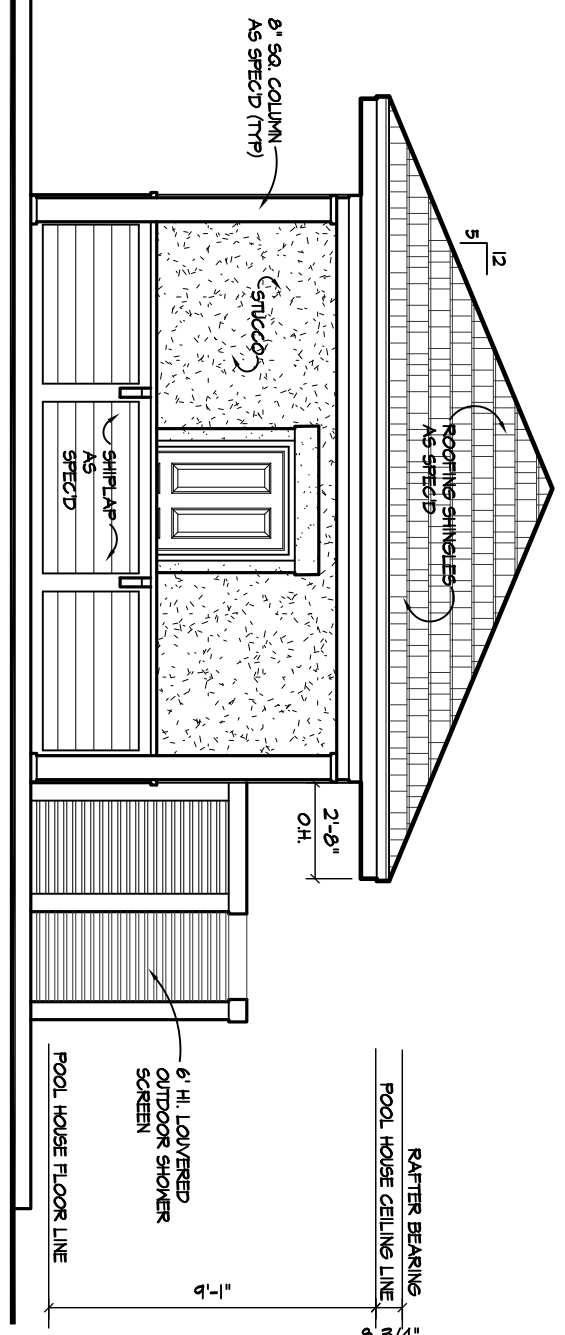
GARAGE #1 FRONT ELEVATION
SCALE 1/8" = 1'-0"



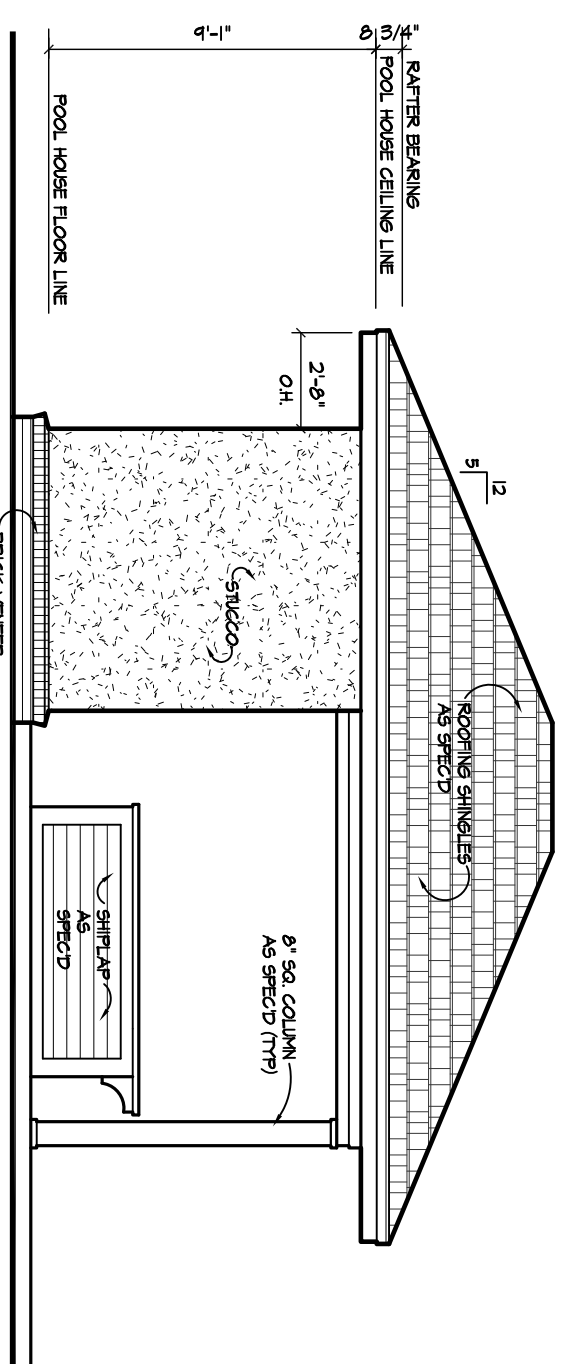
GARAGE #1 REAR ELEVATION
SCALE 1/8" = 1'-0"



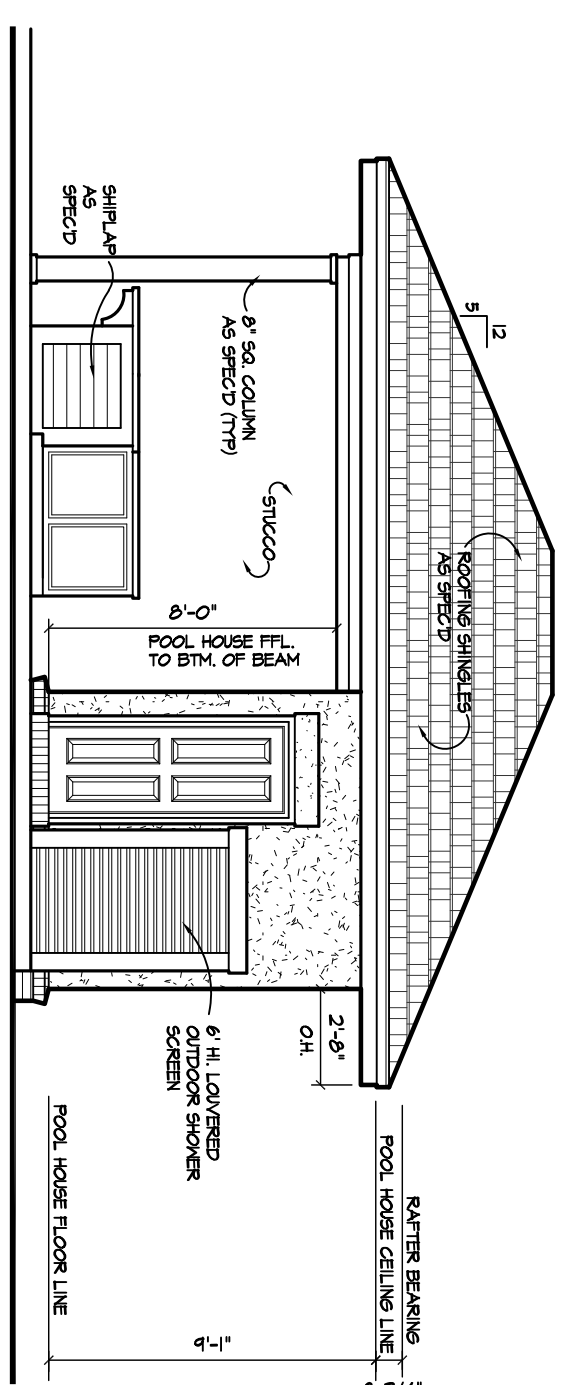
POOL HOUSE REAR ELEVATION
SCALE 1/8" = 1'-0"



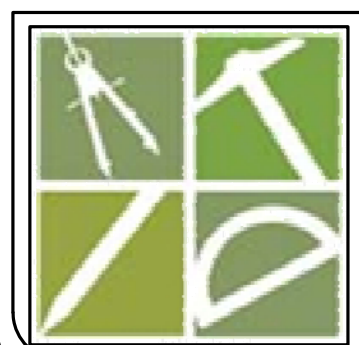
POOL HOUSE FRONT ELEVATION
SCALE 1/8" = 1'-0"



POOL HOUSE LEFTSIDE ELEVATION
SCALE 1/8" = 1'-0"



POOL HOUSE RIGHTSIDE ELEVATION
SCALE 1/8" = 1'-0"



A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK
LOT #12 * 84 BLUFF VIEW DRIVE * "KINGSALE BLUFF"
BRYAN COUNTY, GEORGIA 31324

JOANN GREEN DESIGNS, LLC.
901 WOODSIDE XING., SAVANNAH, GEORGIA 31405
(912) 655-6248 joann.green.designs@gmail.com

DESIGNED BY: J.B.G.	DRAWN BY: J.B.G.	CHECKED BY: J.B.G.	DATE: 9/19/21
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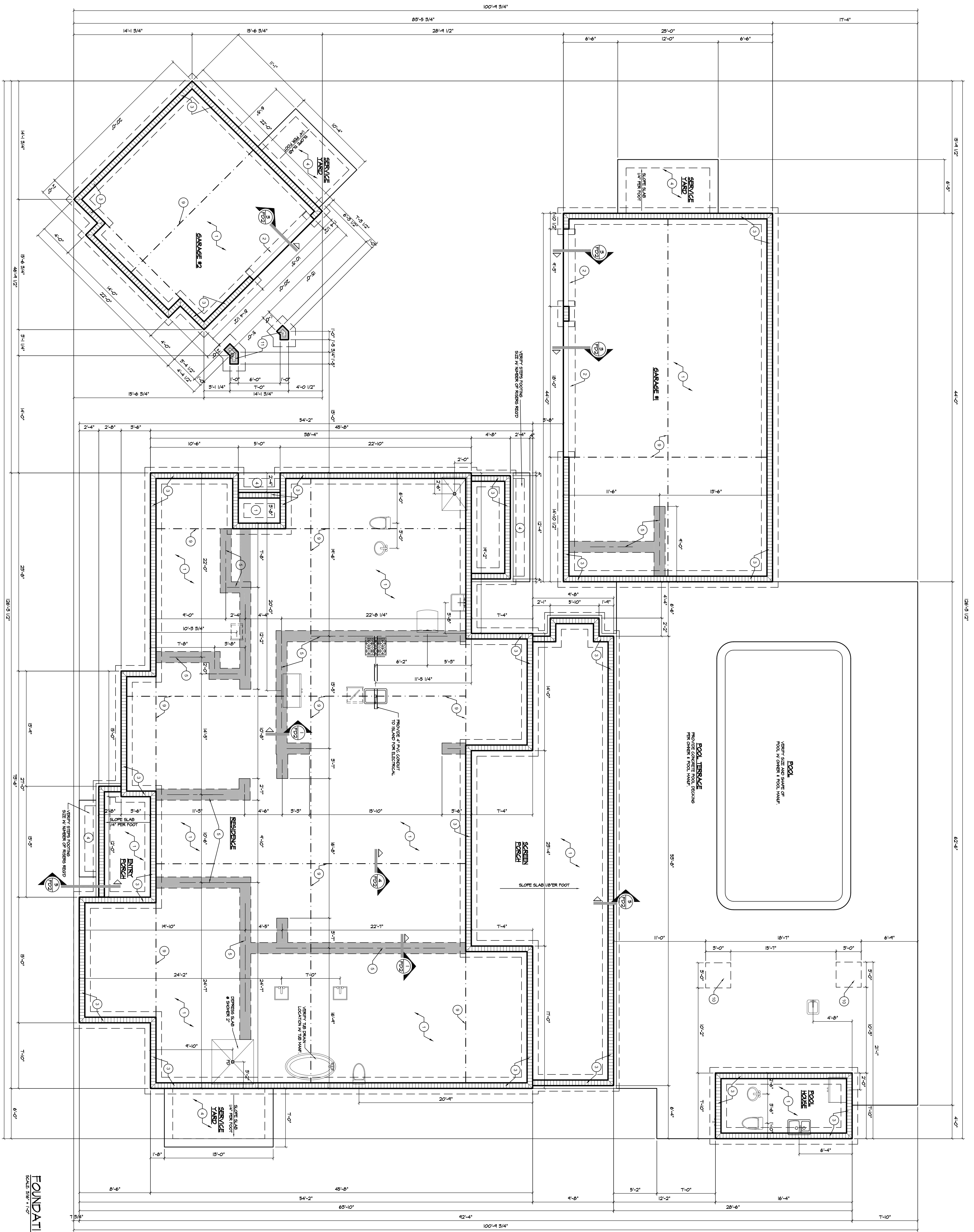
STRUCTURAL

REVISIONS

10/04/21
10/04/21
10/04/21

SHEET NO.

EL3
OF



FOUNDATION PLAN
SCALE 3/8" = 1'-0"

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A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK
 LOT # 12 * 24 BLUFF VIEW DRIVE * "KINGSALE BLUFF"
 BRYAN COUNTY, GEORGIA 31324

JOANN GREEN DESIGNS, LLC.
 901 WOODSIDE XING., SAVANNAH, GEORGIA 31405
 (912) 655-6248 joann.green.designs@gmail.com

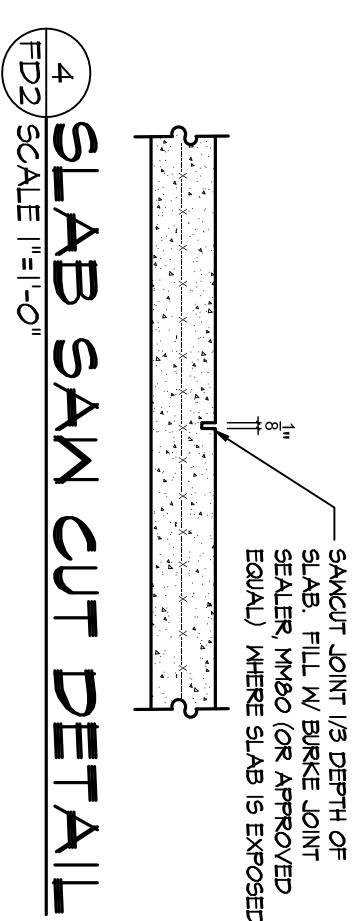
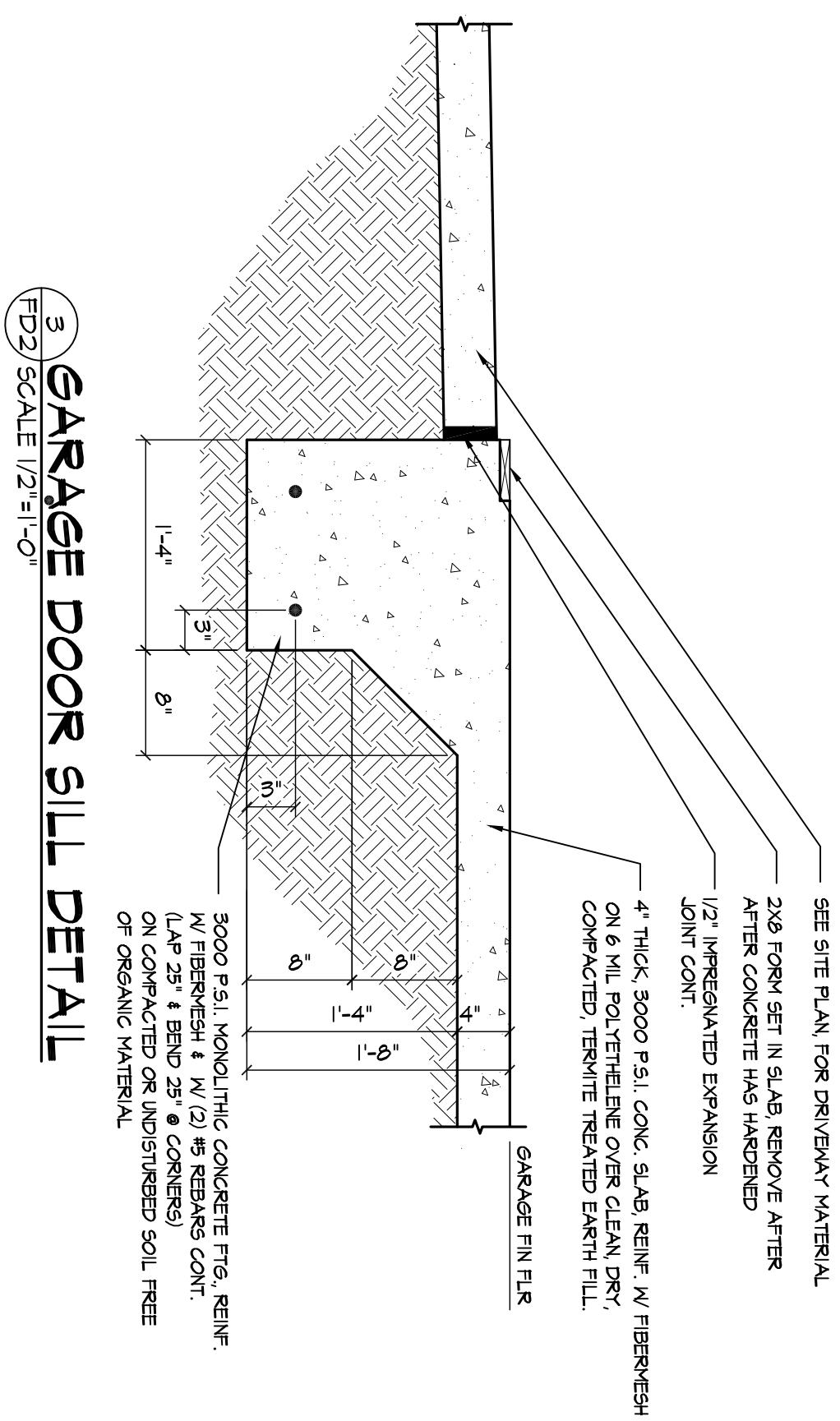
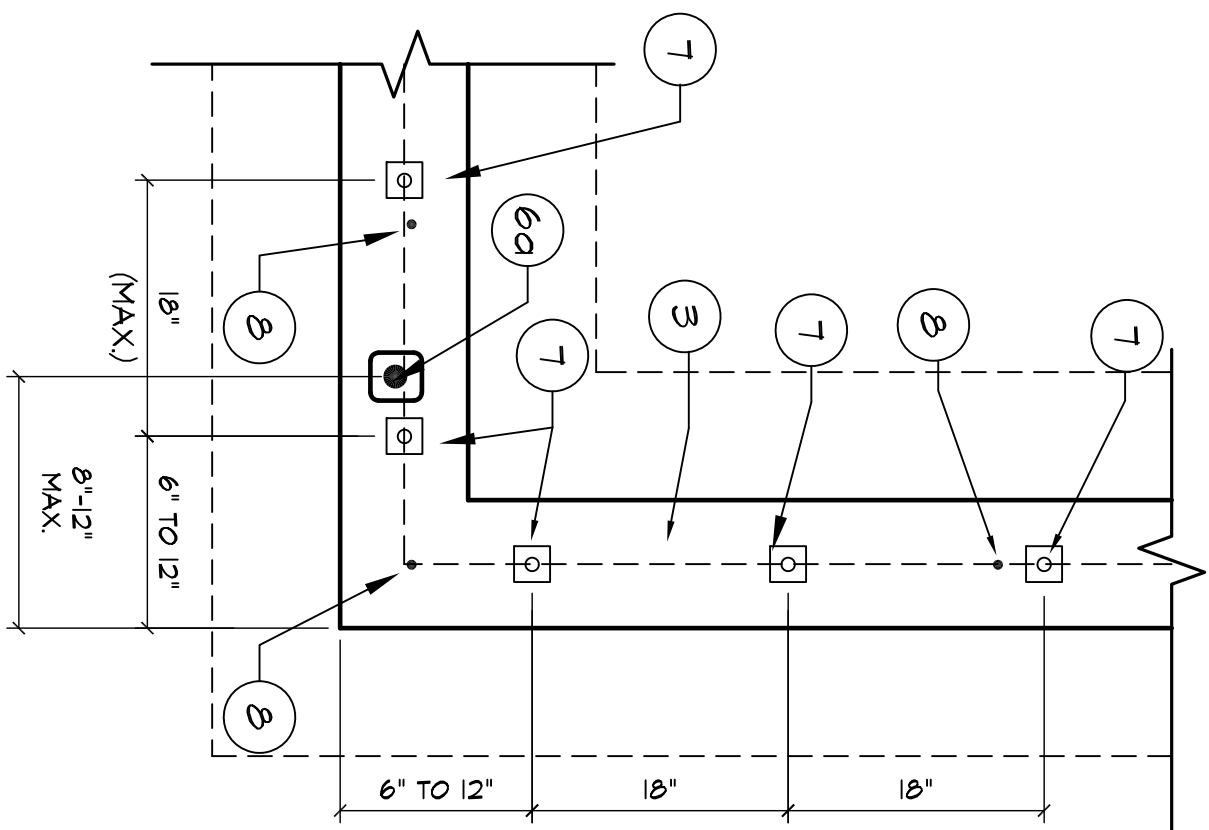
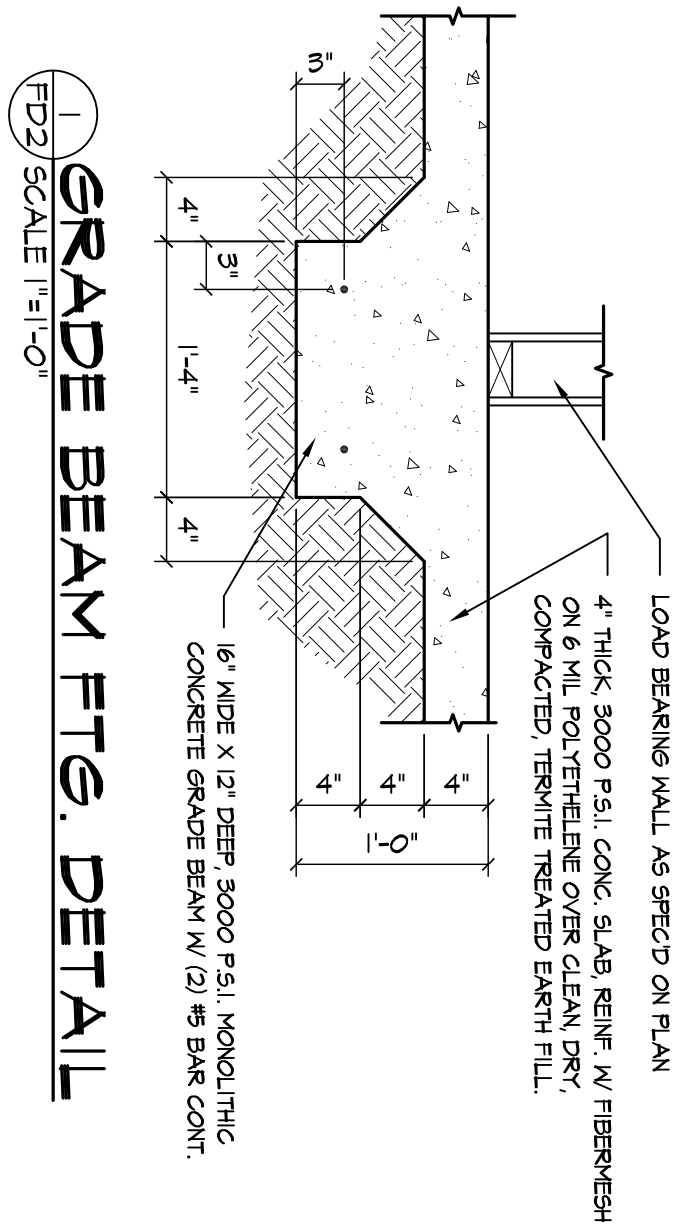
DESIGNED BY: J.B.G.	DRAWN BY: J.B.G.	CHECKED BY: J.B.G.	DATE: 9/19/21
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STRUCTURAL

REVISIONS

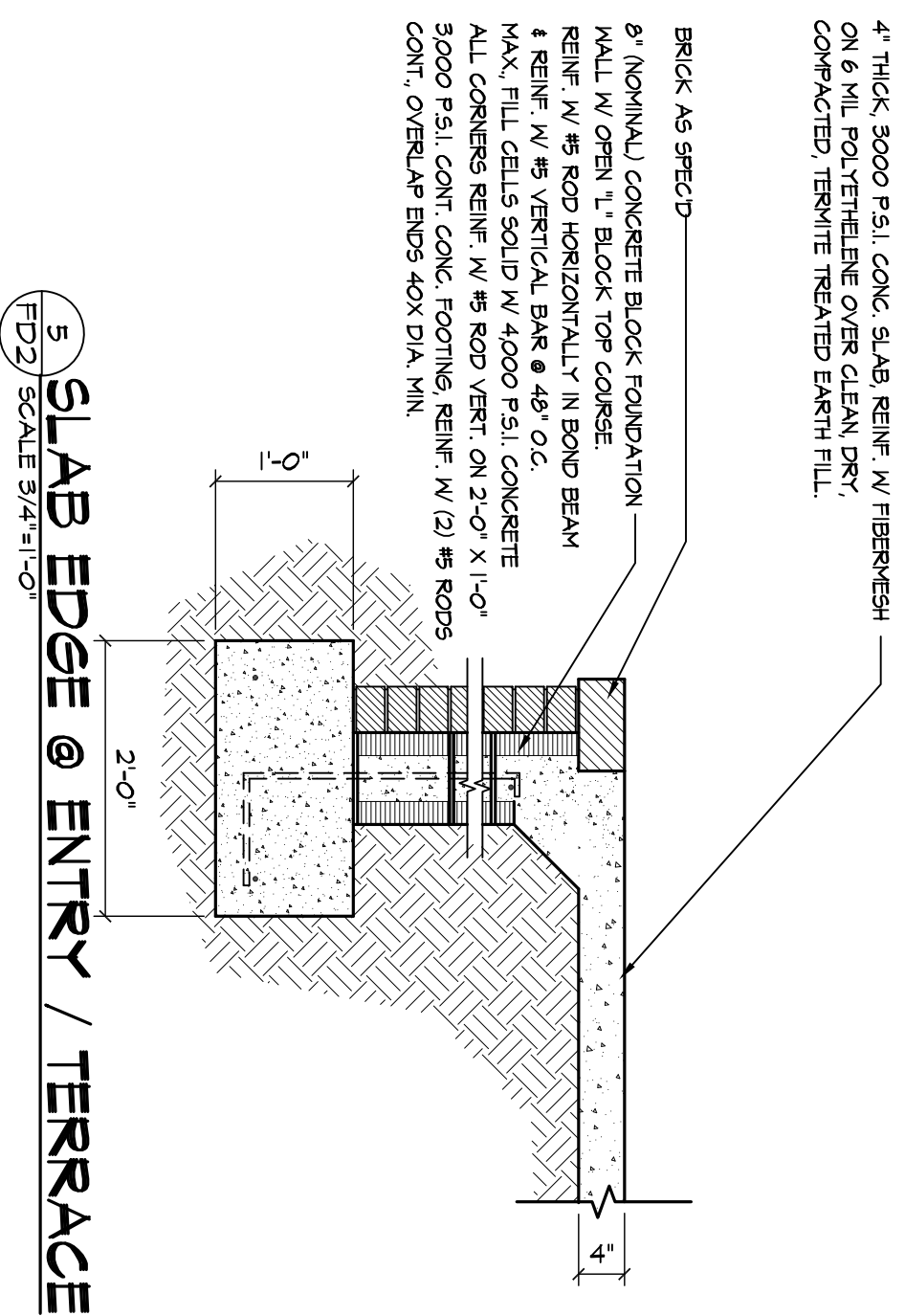
NO.	DATE	DESCRIPTION
1	10/14/21	
2	10/14/21	
3	10/14/21	

SHEET NO.
FD1
 OF



FOUNDATION NOTES

- 1) 4" THICK 3000 P.S.I. CONG. SLAB REINF. W/ FIBERGLASS ON 6 MIL POLYETHYLENE OVER CLEAN DRY, COMPACTED, TERNITE TREATED EARTH FILL.
- 2) 16" WIDE X 20" DEEP 3000 P.S.I. MONOLITHIC CONCRETE GRADE BEAM W/ (2) #5 BAR CONT. OVERLAP ENDS 40X DIA. MIN.
- 3) 8" NOMINAL CONCRETE BLOCK FOUNDATION WALL W/ OPEN "T" BLOCK TOP COURSE. REINF. W/ #5 ROD HORIZONTALLY IN BOND BEAM MAX. FILL CELLS SOLID W/ 4000 P.S.I. CONCRETE. ALL CORNERS REINF. W/ #5 ROD VERT. ON 2'-0" X 1'-0" 3000 P.S.I. CONT. CONG. FOOTING REINF. W/ (2) #5 RODS CONT. OVERLAP ENDS 40X DIA. MIN.
- 4) 4" THICK 3000 P.S.I. CONG. SLAB REINF. W/ FIBERGLASS ON COMPACTED, TERNITE TREATED EARTH FILL.
- 5) 16" WIDE X 12" DEEP 3000 P.S.I. MONOLITHIC CONCRETE GRADE BEAM W/ (2) #5 BAR CONT. SEE DETAIL 1 OF FD2
- 6) ALL CONG. WORK SHALL CONFORM TO A.C.I. 301 REQUIREMENTS
- 7) = DETECTOR 5/8" X 10" GALV. METAL ANCHOR BOLT W/ 3" X 3/4" GALV. METAL WASHER
- 8) * REBARS #5 ROD VERTICAL #49 O.C. HOOK OVER #5 HORIZ. IN SLAB 4" #49 TRN UNDER REBAR
- 9) 1" DEEP (MINIMUM) SAWED CONSTRUCTION JOINT AFTER 28 DAYS OF FULL CURING FILL CONSTRUCTION / CONTROL JOINT WITH EPOXY FILLER AS SHOWN ON PLAN.
- 10) 36" X 36" X 20" DEEP 3000 P.S.I. MONOLITHIC CONCRETE FOOTING W/ (3) #5 BARS EACH WAY
- 11) 12" NOMINAL BRICK COLUMN REINF. W/ (6) #5 VERTICAL BAR FILL CELLS SOLID W/ 4000 P.S.I. CONCRETE ON 2'-0" X 1'-0" DEEP 3000 P.S.I. CONT. CONG. FOOTING REINF. W/ (2) #5 RODS CONT. OVERLAP ENDS 40X DIA. MIN.



DO NOT SCALE THE DRAWINGS. THE DESIGNER WILL NOT ACCEPT RESPONSIBILITY FOR CONSTRUCTION ERRORS DUE TO SCALING OF THE DRAWINGS. VERIFY ALL DIMENSIONS, FINISHES, FIXTURES, ETC. BEFORE BEGINNING CONSTRUCTION. IF DIMENSIONS OR DETAILS ARE OMITTED, INCORRECT, OR NOT CLEAR, THE CONTRACTOR SHALL CONSULT WITH THE DESIGNER FOR CLARIFICATION.



A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK
 LOT # 12 * 84 BLUFF VIEW DRIVE * "KINSALE BLUFF"
 BRYAN COUNTY, GEORGIA

JOANN GREEN DESIGNS, LLC.

901 WOODSIDE XING., SAVANNAH, GEORGIA 31405
 (912) 655-6248 joann.green.designs@gmail.com

DESIGNED BY:
J.B.S.

DRAWN BY:
J.B.S.

CHECKED BY:
J.B.S.

DATE:
9/16/21

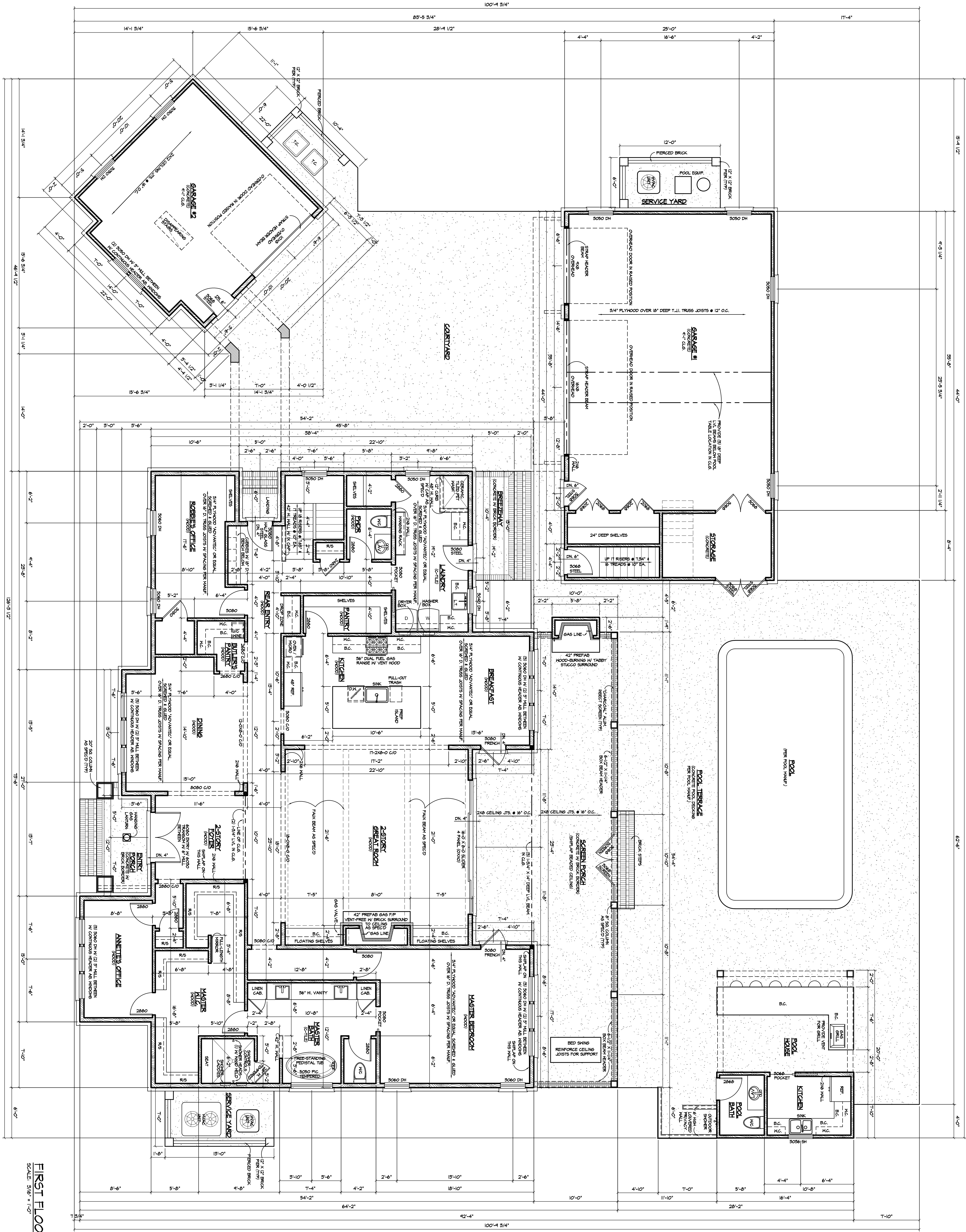
STRUCTURAL

REVISIONS

1 / 8 / 21

SHEET NO.

FD2
OF



FIRST FLOOR PLAN

SQUARE FOOTAGE

FIRST FLOOR	3188 SQ. FT.
SECOND FLOOR	1788 SQ. FT.
SCREEN PORCH	1111 SQ. FT.
POOL HOUSE	988 SQ. FT.
TOTAL UNDER ROOF	6075 SQ. FT.

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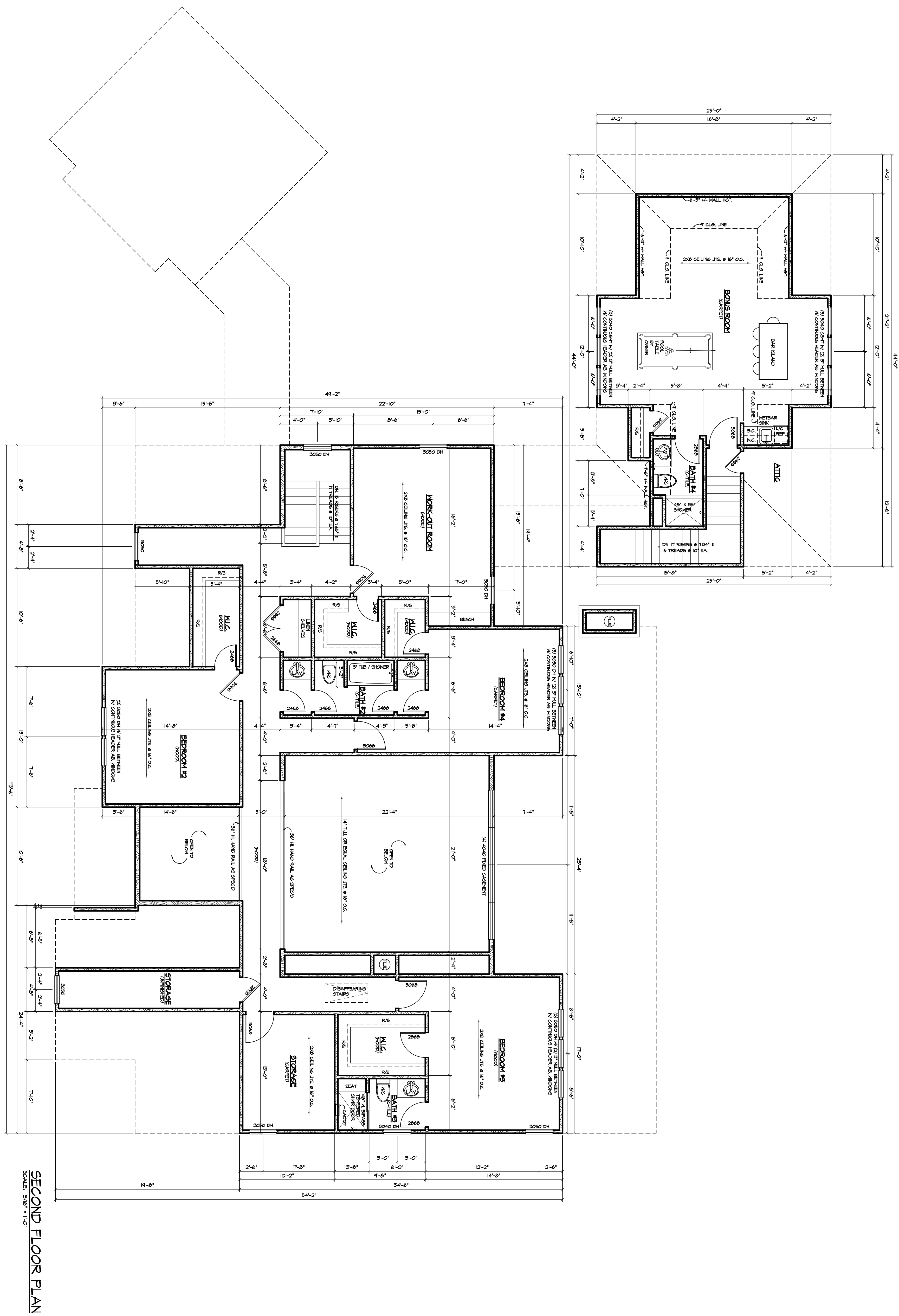
A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK
 LOT # 12 * 84 BLUFF VIEW DRIVE * "KINGSALE BLUFF"
 BRYAN COUNTY, GEORGIA 31324

JOANN GREEN DESIGNS, LLC.
 901 WOODSIDE XING., SAVANNAH, GEORGIA 31405
 (912) 655-6248 joann.green.designs@gmail.com

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:
J.B.G.	J.B.G.	J.B.G.	9/19/21

STRUCTURAL	REVISIONS
	1/01/21 2/01/21 3/01/21 4/01/21 5/01/21 6/01/21 7/01/21 8/01/21 9/01/21 10/01/21 11/01/21 12/01/21

SHEET NO.	FP1
OF	



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A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK
 LOT # 12 * 24 BLUFF VIEW DRIVE * "KINGSALE BLUFF"
 BRYAN COUNTY, GEORGIA 31324

JOANN GREEN DESIGNS, LLC.
 901 WOODSIDE XING., SAVANNAH, GEORGIA 31405
 (912) 655-6248 joann.green.designs@gmail.com

DESIGNED BY: J.B.G.
 DRAWN BY: J.B.G.
 CHECKED BY: J.B.G.
 DATE: 9/19/21

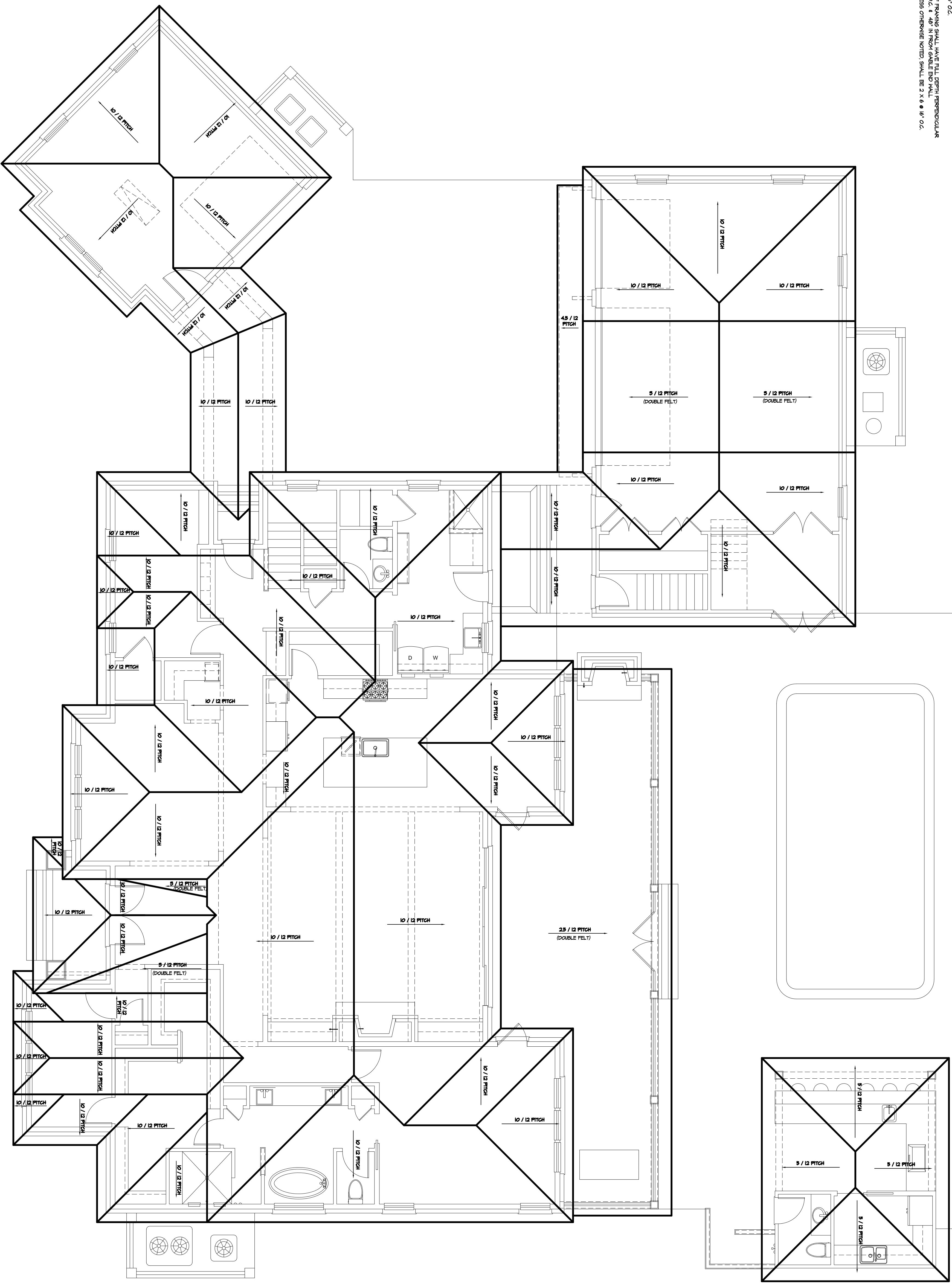
STRUCTURAL

REVISIONS
 10/14/21
 8/2/21

SHEET NO.
FP2
 OF


GENERAL ROOF FRAMING NOTES

1. ROOF BOARD SHALL BE AT LEAST 1" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE SPACING OF THE TRUSSES.
2. ALL VALLEY AND HIP PARTS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE BATTERY (SEE REC 2026)
3. ALL GABLE ENDS SHALL BE BALLOONED FRAMED W/ MINIMUM OF 2x6 STUDS @ 16" O.C.
4. PROVIDE 3x4 DIAGONAL BRACING @ 32' O.C. AT ALL GABLE END WALLS EXCEPT FOR JOIST JOISTS PROVIDED GALVANIZED
5. DOUBLE ROOF PARTS @ ALL SECTIONS OF ROOFERS.
6. ROOFER GABLE ENDS SHALL BE BALLOONED FRAMED W/ MINIMUM OF 2x6 STUDS @ 16" O.C.
7. ROOFER GABLE ENDS SHALL HAVE FULL DEPTH PERPENDICULAR BRACING @ 32' O.C. @ 48" FROM GABLE END WALL.
8. ALL PARTS UNLESS OTHERWISE NOTED SHALL BE 2 x 6 @ 16" O.C.



ROOF PLAN
SCALE: 3/8" = 1'-0"

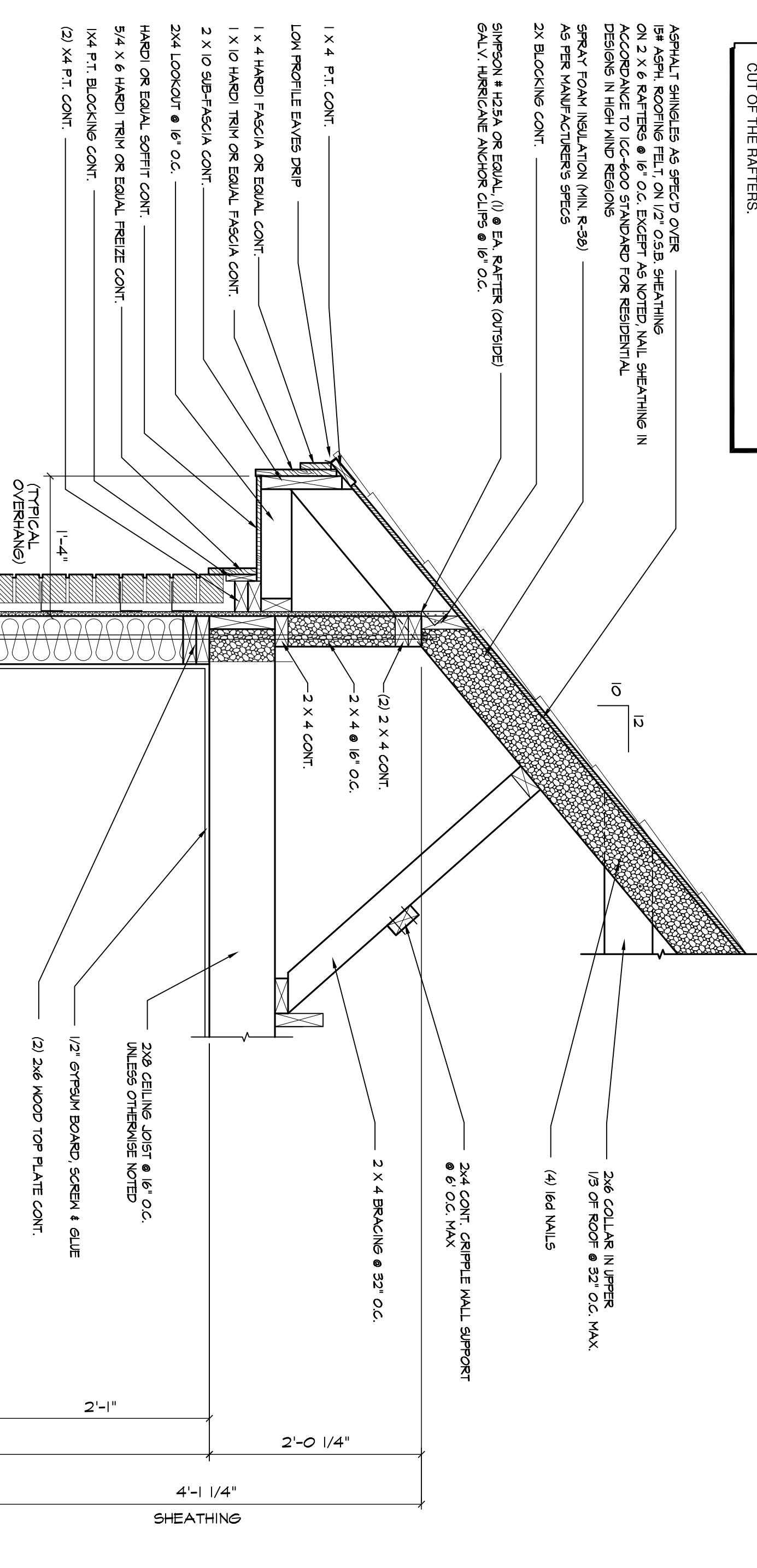
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	<p>A NEW RESIDENCE FOR MR. & MRS. ROBERT BECK LOT # 12 * 84 BLUFF VIEW DRIVE * "KINGSALE BLUFF" BRYAN COUNTY, GEORGIA 31324</p>	<p>JOANN GREEN DESIGNS, LLC. 901 WOODSIDE XING., SAVANNAH, GEORGIA 31405 (912) 655-6248 joann.green.designs@gmail.com</p>	STRUCTURAL	REVISIONS 8/14/21	SHEET NO. RF1 OF		
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DESIGNED BY: J.B.G.	DRAWN BY: J.B.G.	CHECKED BY: J.B.G.	DATE: 9/19/21				

NOTE: ROOF SHEATHING TO BE FASTENED TO ROOF FRAMING WITH GALVANIZED COMMON OR RING SHANK NAILS @ 6" O.C. AT EDGES & 6" O.C. INTERMEDIATE FRAMING.
NOTE: ROOF SHINGLES TO HAVE MINIMUM OF (6) SIX FASTENERS.
NOTE: PROVIDE RIDGE BOARD OF 2" NOMINAL THICKNESS NOT LESS IN DEPTH THAN THE DEPTH CUT OF THE RAFTERS.

RAFTERS NOT TO EXCEED 14" HORIZONTAL SPAN. IF HORIZONTAL SPAN EXCEEDS 14" THEN THE RAFTERS MUST BE SUPPORTED BY A CHIRPLE WALL SUPPORT SUCH AS A LOAD BEARING WALL OR CHIRPLE WALL BEAM AS SHOWN BELOW.

NOTE: ALL SIMPSON METAL CLIPS, TIES AND STRAPS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDED INSTALLATION.



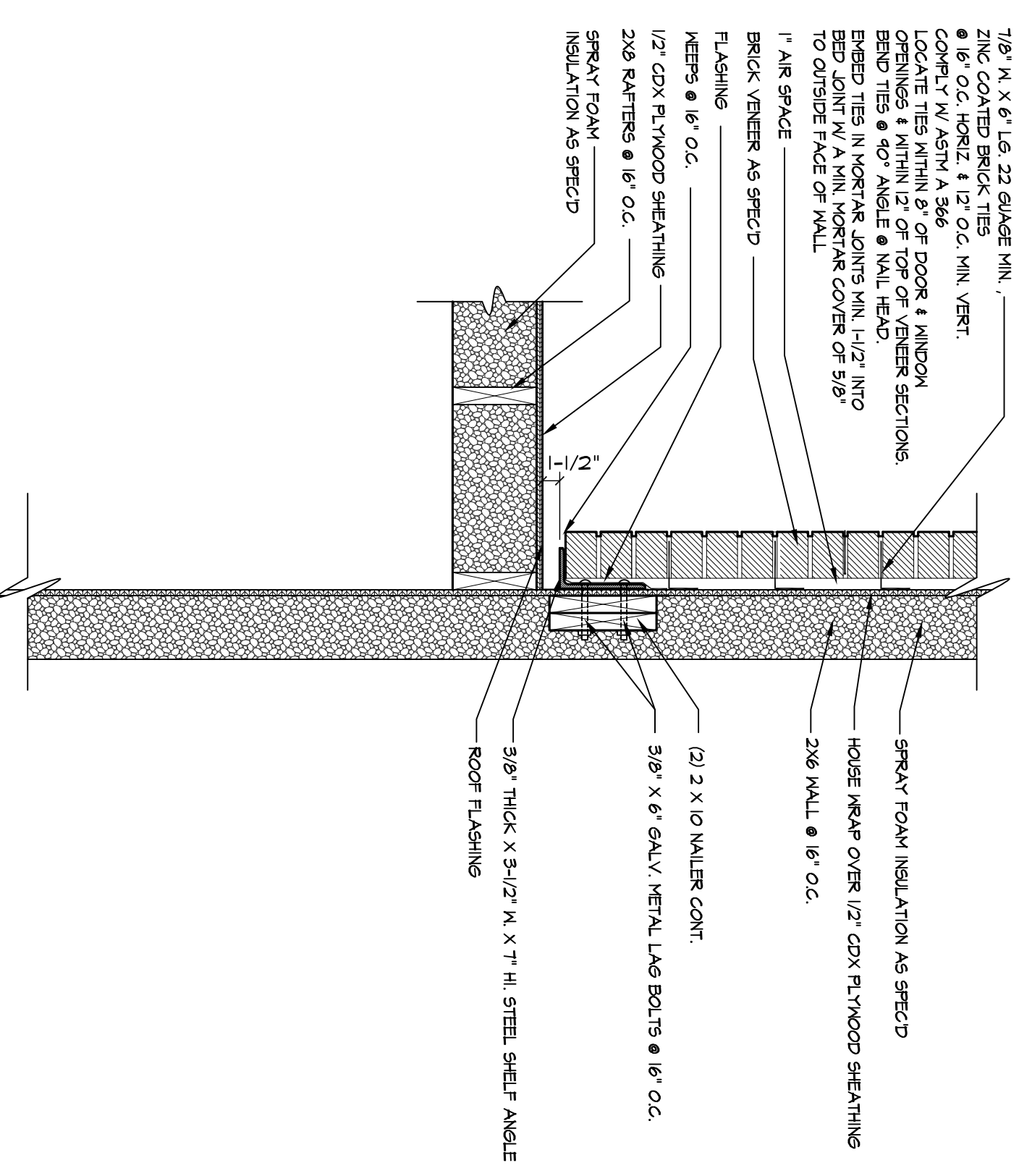
NOTE: ALL STRUCTURAL MEMBERS & ANY EXTERIOR MATERIAL SHALL MEET OR EXCEED A 140 M.P.H. (MIN.) WIND LOAD & MEET OR EXCEED ALL BUILDING CODES AS ADOPTED BY THE BRYAN COUNTY BUILDING DEPARTMENT INCLUDING IRC 2018 & INTERNATIONAL CODE COUNCIL (ICC-500 STANDARDS FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS SHALL BE PRESERVE INDICATED).

5/2" CDX FLYWOOD SHEATHING-TYPE II SHEAR WALLS ATTACH W/ 1/2" NAILS @ 6" O.C. W/ TYPICAL MOISTURE BARRIER (LAY HORIZONTALLY). NAIL IN ACCORDANCE ICC-400 STIPULATED FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS ANY SHEATHING BELOW WIND FLOOD PLANE SHALL BE PRESERVE INDICATED.

BRICK VENEER
1" AIR SPACE
7/8" X 6' L.S. 22 GAUGE MIN. ZINC COATED BRICK TIES @ 16" O.C. HORIZ. & 12" O.C. MIN. VERT. COMPLY W/ ASTM A 566 LOCATE TIES WITHIN 8" OF DOOR & WINDOW OPENINGS & WITHIN 12" OF TOP OF VENEER SECTIONS. EMBED TIES IN MORTAR JOINTS MIN. 1-1/2" INTO BED JOINT W/ A MIN. MORTAR COVER OF 5/8" TO OPPOSITE FACE OF WALL.

SC1 SCALE 1/4"=1'-0"
TYPICAL WALL SECTION

SC1 SCALE 1/4"=1'-0"
STEEL ANGLE SHELF FOR BRICK AT ROOF DETAIL



7/8" X 6' L.S. 22 GAUGE MIN. ZINC COATED BRICK TIES @ 16" O.C. HORIZ. & 12" O.C. MIN. VERT. COMPLY W/ ASTM A 566 LOCATE TIES WITHIN 8" OF DOOR & WINDOW OPENINGS & WITHIN 12" OF TOP OF VENEER SECTIONS. EMBED TIES IN MORTAR JOINTS MIN. 1-1/2" INTO BED JOINT W/ A MIN. MORTAR COVER OF 5/8" TO OPPOSITE FACE OF WALL.

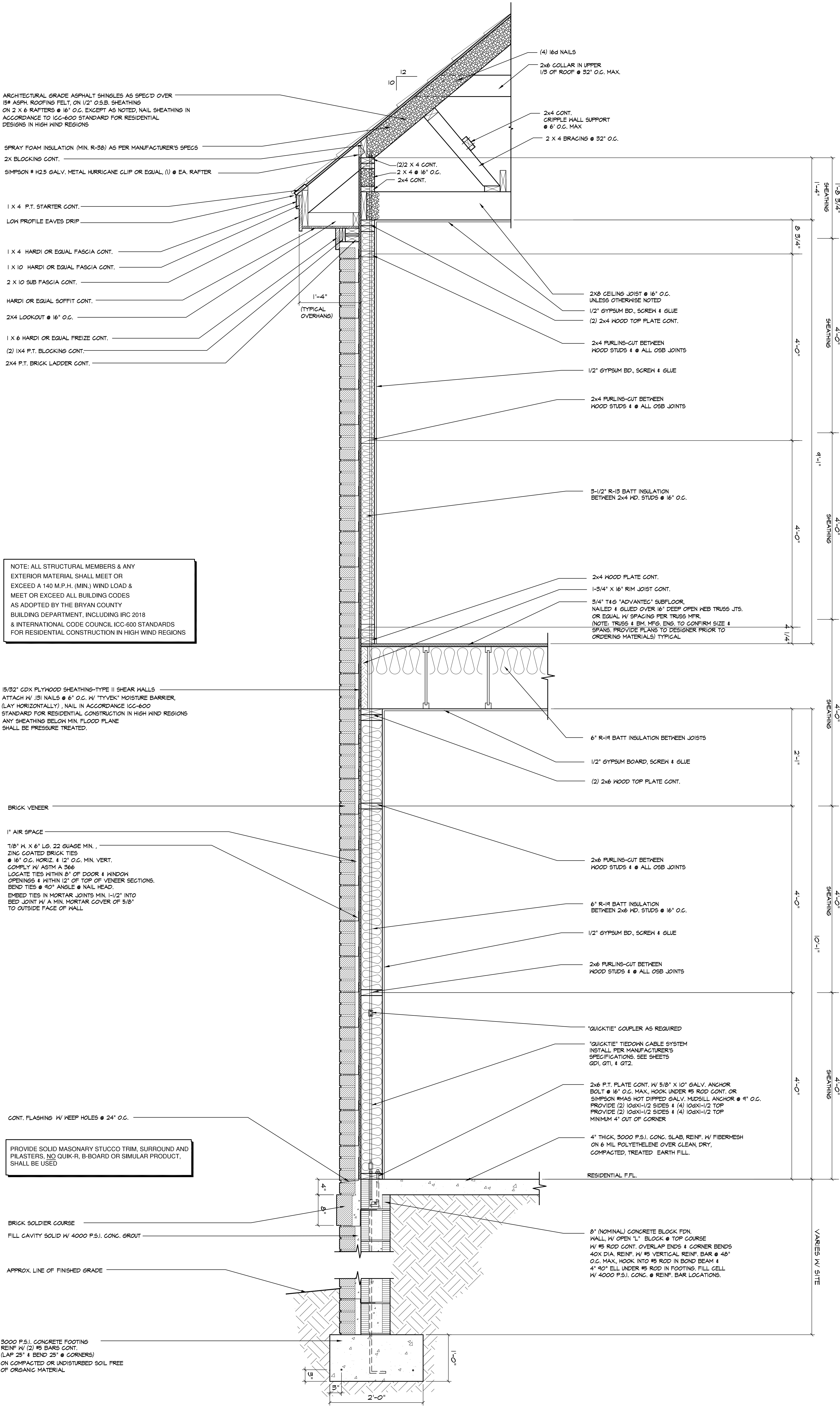
1" AIR SPACE
BRICK VENEER AS SPEC'D
FLASHING
NEERS @ 16" O.C.
1/2" CDX FLYWOOD SHEATHING
2X6 RAFTERS @ 16" O.C.
SPRAY FOAM INSULATION AS SPEC'D
5/8" THICK X 5/4" X 7" H. STEEL SHELF ANGLE
ROOF FLASHING
5/8" X 6' GALV. METAL LAG BOLTS @ 16" O.C.
(2) 2 X 10 MILLER CONT.
5/8" X 6' GALV. METAL LAG BOLTS @ 16" O.C.
SPRAY FOAM INSULATION AS SPEC'D
HOLE RAMP OVER 1/2" CDX FLYWOOD SHEATHING
2X6 WALL @ 16" O.C.
SPRAY FOAM INSULATION AS SPEC'D

A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK
LOT # 12** 84 BLUFF VIEW DRIVE * "KINSALE BLUFF"
BRYAN COUNTY, GEORGIA

JOANN GREEN DESIGNS, LLC
901 WOODSIDE XING, SAVANNAH, GEORGIA 31405
(912) 756-6751 joann.green.designs@gmail.com

DESIGNED BY: J.B.G.	DRAWN BY: J.B.G.	CHECKED BY: J.B.G.	DATE: 11/8/21
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STRUCTURAL	REVISIONS	SHEET NO. SC1 OF
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NOTE: ROOF SHEATHING TO BE FASTENED TO ROOF FRAMING w/8d GALVANIZED, COMMON, OR RING SHANK NAILS @ 6" O.C. AT EDGES & 6" O.C. INTERMEDIATE FRAMING

NOTE: ROOF SHINGLES TO HAVE MINIMUM OF (6) SIX FASTENERS

NOTE: PROVIDE RIDGE BOARD OF 2" NOMINAL THICKNESS NOT LESS IN DEPTH THAN THE DEPTH OUT OF THE RAFTERS.

RAFTERS NOT TO EXCEED 14'-0" HORIZONTAL SPAN. IF HORIZONTAL DIMENSION EXCEEDS 14'-0", THEN THE RAFTERS MUST BE SUPPORTED BY A CRIPPLE WALL SUPPORT SUCH AS A LOAD BEARING WALL OR CRIPPLE WALL BEAM AS SHOWN BELOW.

NOTE: ALL SIMPSON METAL CLIPS, TIES AND STRAPS SHALL BE INSTALL IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDED INSTALLATION

NOTE: ALL STRUCTURAL MEMBERS & ANY EXTERIOR MATERIAL SHALL MEET OR EXCEED A 140 M.P.H. (MIN.) WIND LOAD & MEET OR EXCEED ALL BUILDING CODES AS ADOPTED BY THE BRYAN COUNTY BUILDING DEPARTMENT, INCLUDING IRC 2018 & INTERNATIONAL CODE COUNCIL ICC-600 STANDARDS FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS

15/32" CDX PLYWOOD SHEATHING-TYPE II SHEAR WALLS ATTACH W/ 13d NAILS @ 6" O.C. W/ "TYVEK" MOISTURE BARRIER (LAY HORIZONTALLY), NAIL IN ACCORDANCE ICC-600 STANDARD FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS ANY SHEATHING BELOW MIN. FLOOD PLANE SHALL BE PRESSURE TREATED.

BRICK VENEER

1" AIR SPACE

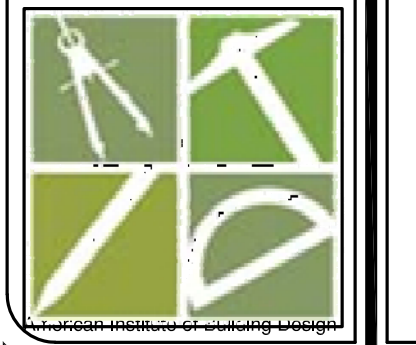
7/8" W X 6" L.G. 22 GAUGE MIN. ZINC COATED BRICK TIES @ 16" O.C. HORIZ. & 12" O.C. MIN. VERT. COMPLY W/ ASTM A 366 LOCATE TIES WITHIN 8" OF DOOR & WINDOW OPENINGS & WITHIN 12" OF TOP OF VENEER SECTIONS. BEND TIES @ 90° ANGLE @ NAIL HEAD. EMBED TIES IN MORTAR JOINTS MIN. 1-1/2" INTO BED JOINT W/ A MIN. MORTAR COVER OF 5/8" TO OUTSIDE FACE OF WALL

PROVIDE SOLID MASONARY STUCCO TRIM, SURROUND AND PILASTERS, NO QUIK-R, B-BOARD OR SIMILAR PRODUCT, SHALL BE USED

3000 P.S.I. CONCRETE FOOTING REIN W/ (2) #5 BARS CONT. (LAP 25" & BEND 25" @ CORNERS) ON COMPACTED OR UNDISTURBED SOIL FREE OF ORGANIC MATERIAL

2-STORY WALL SECTION
SCALE 1"=1'-0"

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A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK
 LOT # 12** 84 BLUFF VIEW DRIVE * "KINSALE BLUFF"
 BRYAN COUNTY, GEORGIA

JOANN GREEN DESIGNS, L.L.C
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 CHECKED BY: J.B.S.
 DATE: 11/8/21

STRUCTURAL

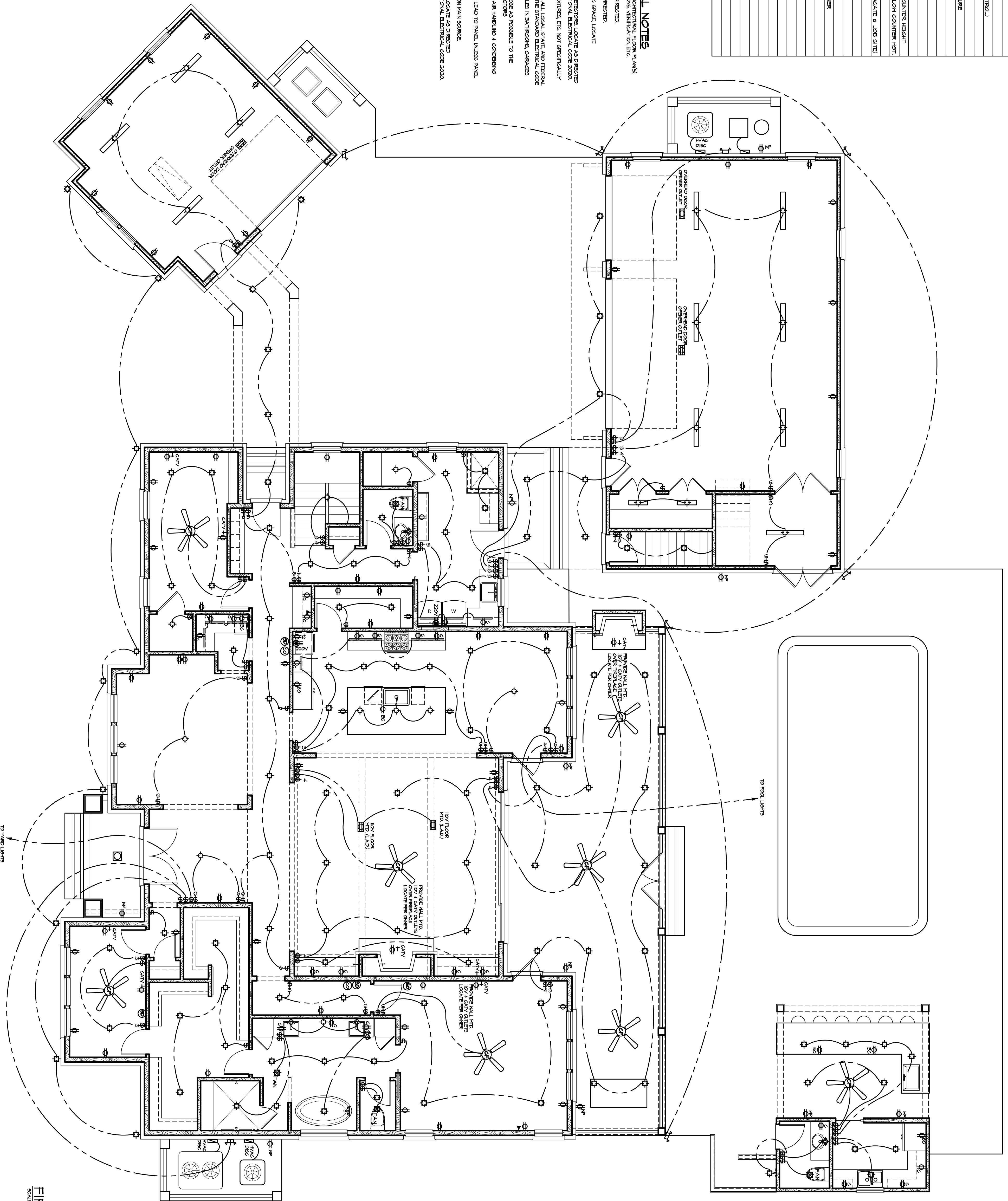
REVISIONS

SHEET NO.
SC2
 OF

SYM	DESCRIPTION
1	SINGLE POLE SWITCH
2	THREE WAY SWITCH
3	FOUR WAY SWITCH
4	DIENER SWITCH
5	ROBOSTAT SWITCH (SPEED CONTROL)
6	DOOR SWITCH
7	SURFACE MTD. LIGHT FIXTURE
8	MALL MOUNTED BRACKET FIXTURE
9	CEILING FAN
10	RECESSED LIGHT FIXTURE
11	HEAT/LIGHT FAN FIXTURE
12	FLUORESCENT LIGHT FIXTURE
13	DUPLEX RECEPTACLE 110V
14	DUPLEX RECEPTACLE 110V COUNTER HEIGHT
15	DUPLEX RECEPTACLE 110V BELOW COUNTER HGT.
16	DUPLEX CEILING OUTLET 110V
17	DUPLEX FLOOR OUTLET 110V LOCATE @ JOB SITE
18	SWITCH MOUNTED DUPLEX RECEPT.
19	220V RECEPTACLE
20	FLOOD LIGHT WATER PROOF
21	JUNCTION BOX
22	LOCATE AS DIRECTED BY OWNER
23	WATER PROOF
24	DUPPLICATE ORDER
25	PHONE OUTLET
26	CATV / CABLE T.V. OUTLET
27	DOOR CHIME
28	UNDER CABINET LIGHTING
29	SMOKE DETECTOR
30	CARBON MONOXIDE DETECTOR
31	ELECTRIC SERVICE PANEL
32	CAT & DATA OUTLET
33	SPEAKER
34	VOLUME CONTROL FOR SPEAKERS

GENERAL ELECTRICAL NOTES

- GENERAL CONTRACTOR SHALL REFER TO ARCHITECTURAL FLOOR PLANS/ SHEET NO. FF1 & FF2 FOR FINISHES, DIMENSIONS, VENTILATION, ETC.
- PROVIDE TELEPHONE OUTLETS, LOCATE AS DIRECTED.
- PROVIDE TELEPHONE OUTLETS, LOCATE AS DIRECTED.
- PROVIDE FIREARM RECEPTACLES @ ARTS SPACE, LOCATE AS DIRECTED BY OWNER.
- PROVIDE BATTERY BACK-UP SMOKE DETECTORS, LOCATE AS DIRECTED BY BRYAN COUNTY ELECTRICAL CODE & NATIONAL ELECTRICAL CODE 2020.
- PROVIDE ELECTRICITY TO ALL EQUIPMENT, FIXTURES, ETC. NOT SPECIFICALLY NOTED OR SHOWN.
- LOCATE ALL WIRING PER PLAN, CONFORM TO ALL LOCAL, STATE, AND FEDERAL CODES INCLUDING THE CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE OUTDOORS, AND WITHIN 6 FEET OF A SINK.
- LOCATE ELECTRICAL SERVICE PANEL AS CLOSE AS POSSIBLE TO THE POINT OF ENTRANCE OF THE SERVICE CONDUITS.
- HEAT PUMP DISCONNECTS REQUIRED AT ALL AIR HANDLING & CONDENSING UNITS, PLACE IN VIEW OF PANEL BOX.
- OUTSIDE DISCONNECT REQUIRED WITH 4 WIRE LEAD TO PANEL, UNLESS PANEL WITH FUSES IN VIEW OF PANEL BOX.
- RUN TV & PHONE LINES PARALLEL TO COMMON MAIN SERVICE.
- PROVIDE CARBON MONOXIDE DETECTORS, LOCATE AS DIRECTED BY BRYAN COUNTY ELECTRICAL CODE & NATIONAL ELECTRICAL CODE 2020.



FIRST FLOOR ELECTRICAL PLAN
SCALE: 3/8" = 1'-0"



**A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK**
LOT # 12 * 84 BLUFF VIEW DRIVE * "KINGSALE BLUFF"
BRYAN COUNTY, GEORGIA 31324

JOANN GREEN DESIGNS, LLC.
901 WOODSIDE XING., SAVANNAH, GEORGIA 31405
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DESIGNED BY: J.B.G.	DRAWN BY: J.B.G.	CHECKED BY: J.B.G.	DATE: 9/19/21
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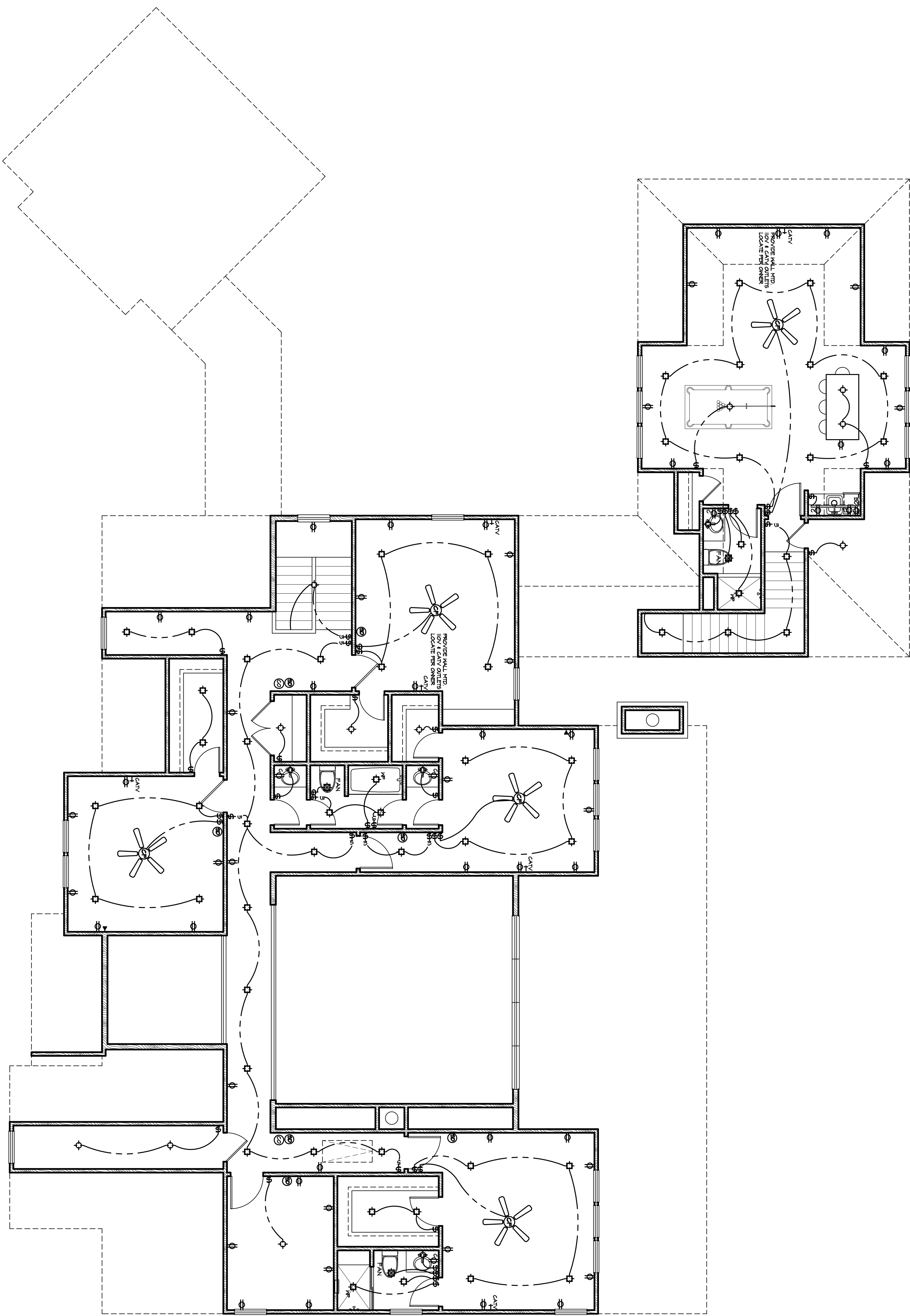
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REVISIONS

10/14/21
7/29/22

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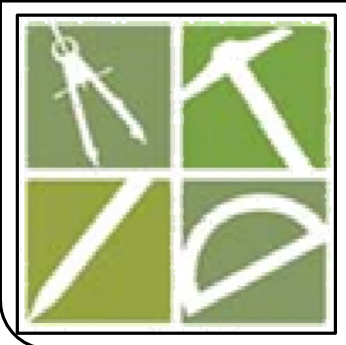
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SECOND FLOOR ELECTRICAL PLAN
SCALE: 3/8" = 1'-0"

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A NEW RESIDENCE FOR
MR. & MRS. ROBERT BECK
 LOT # 12 * 84 BLUFF VIEW DRIVE * "KINGSALE BLUFF"
 BRYAN COUNTY, GEORGIA 31324

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DESIGNED BY: J.B.G.	DRAWN BY: J.B.G.	CHECKED BY: J.B.G.	DATE: 9/19/21
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STRUCTURAL

REVISIONS
10/14/21
11/8/21

SHEET NO.
E2
OF

GENERAL STRUCTURAL NOTES
RESIDENTIAL DESIGN
BRYAN COUNTY, GEORGIA

- 1) ALL WORK TO CONFORM TO THE REQUIREMENTS OF THE FOLLOWING:
 (A) INTERNATIONAL RESIDENTIAL CODE - 2018 (IRC-2018)
 (B) INTERNATIONAL CODE COUNCIL ICC-600 STANDARDS FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS OR
 (C) WOOD FRAME CONSTRUCTION MANUAL FOR ONE- AND TWO-FAMILY DWELLINGS-140 MPH (2018 EDITION) OR
 (D) AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE-7-05)
- 2) DESIGN CRITERIA:
 ROOF LIVE LOAD ---- 20 PSF
 FLOOR LIVE LOAD ---- 40 PSF
 WIND LOAD PER IRC 2018
 WINDON AND DOOR DF RATINGS PER IRC-2018

NOTE: ALL STRUCTURAL MEMBERS & ANY EXTERIOR MATERIAL SHALL MEET OR EXCEED A 140 MPH (MIN) WIND LOAD & MEET OR EXCEED ALL BUILDING CODES AS ADOPTED BY THE BRYAN COUNTY BUILDING DEPARTMENT, INCLUDING IRC 2018 & INTERNATIONAL CODE COUNCIL ICC-600 STANDARDS FOR RESIDENTIAL CONSTRUCTION IN HIGH WIND REGIONS

STRUCTURAL STUD LEGEND

WALL LOCATION	CEILING HEIGHT	STUD SIZE	O.C. SPACING
EXTENSION	8'-0"	2" x 4"	16"
EXTENSION	10'-0"	2" x 4"	16"
EXTENSION	12'-0"	2" x 6"	12"
EXTENSION	14'-0"	2" x 6"	12"
INTERIOR	8'-0"	2" x 4"	16"
INTERIOR	10'-0"	2" x 4"	16"
INTERIOR	12'-0"	2" x 6"	12"
INTERIOR	14'-0"	2" x 6"	12"
EXTENSION	16'-0"	2" x 8"	16"

LUMBER SPECIES: #2 SYP. CD - MEDIUM GRAIN

ATC Hazards by Location

Search Information
 Address: 84 Bluff View Dr, Richmond Hill, GA 31324, USA
 Coordinates: 31.862922, -81.232828
 Elevation: 12 ft
 Timestamp: 2021-08-18T17:08:33Z
 Hazard Type: Wind

ACE	Wind Speed	Peak Category I	Peak Category II
ACE 146	75 mph	120 mph	140 mph
ACE 148	85 mph	120 mph	140 mph
ACE 149	95 mph	120 mph	140 mph

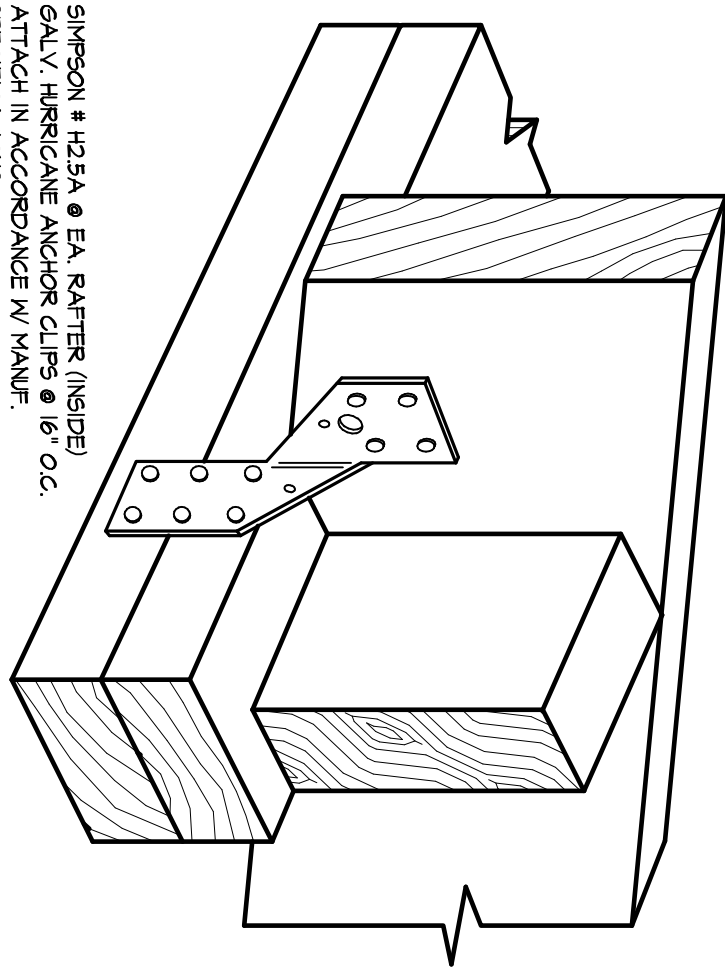
ATC Hazards by Location

Search Information
 Address: 84 Bluff View Dr, Richmond Hill, GA 31324, USA
 Coordinates: 31.862922, -81.232828
 Elevation: 12 ft
 Timestamp: 2021-08-18T17:08:33Z
 Hazard Type: Wind
 Reference Document: ASCE7-16
 Risk Category: II
 Sea Climb: Default

Design Horizontal Response Spectrum

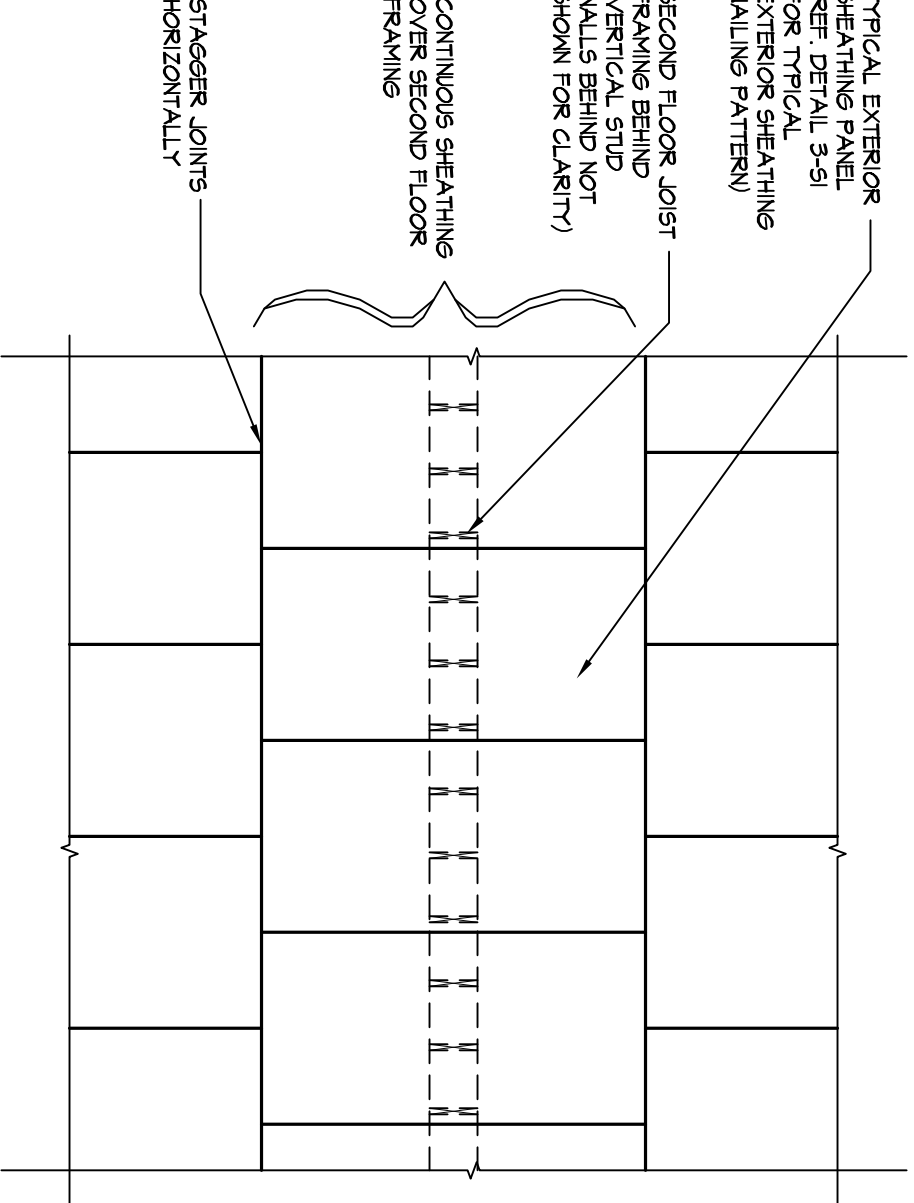
Basic Parameters

Name	Value	Description
S ₁	0.281	WCA, ground motion (pendent/2h)
S ₁	0.191	WCA, ground motion (pendent/1h)
S ₁	0.415	Site
S ₁	0.241	Site

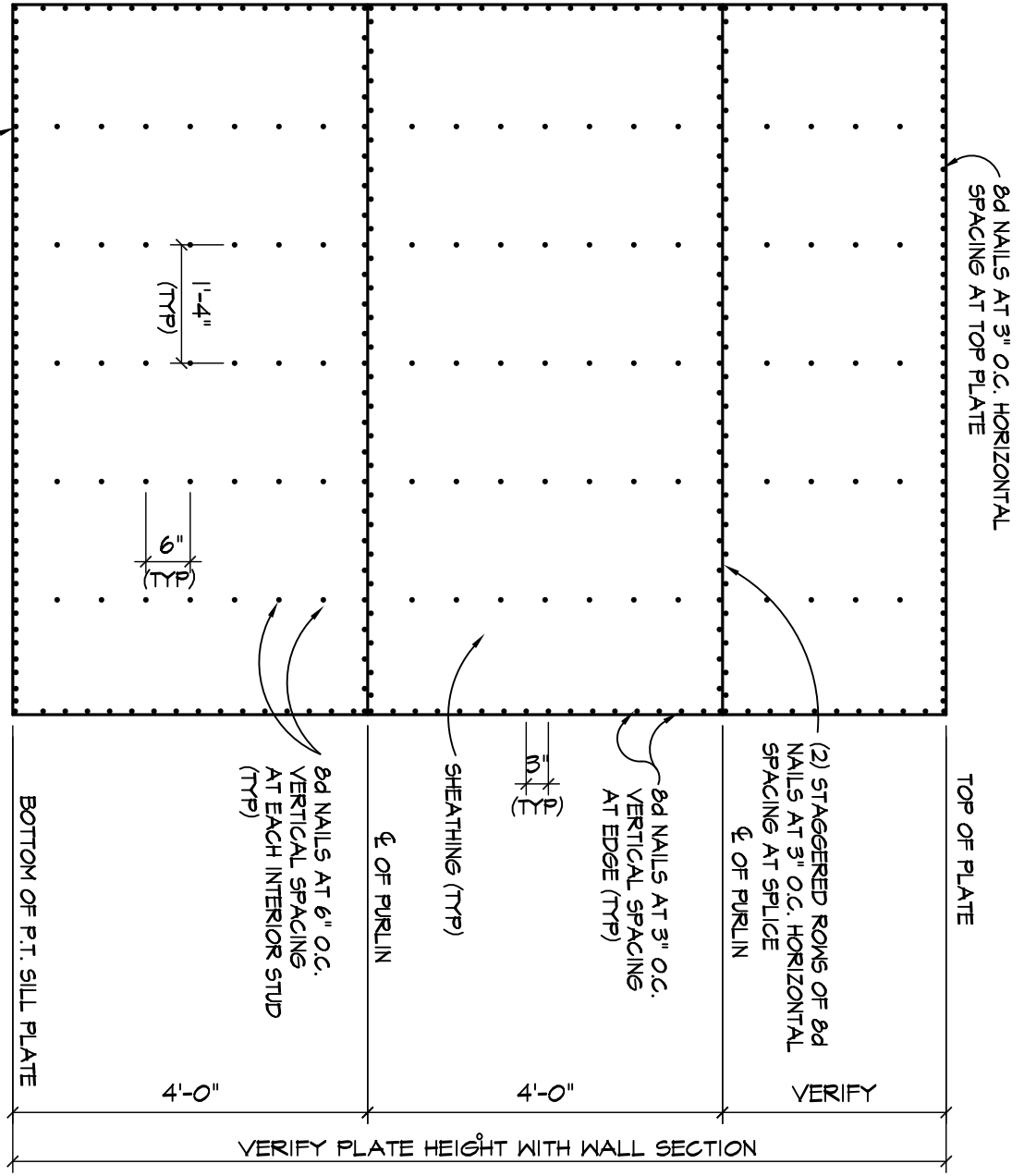


1) SIMPSON STRONG-TIE # H2.58
 OR WTS18 STRAP AS PER WALL SECTION

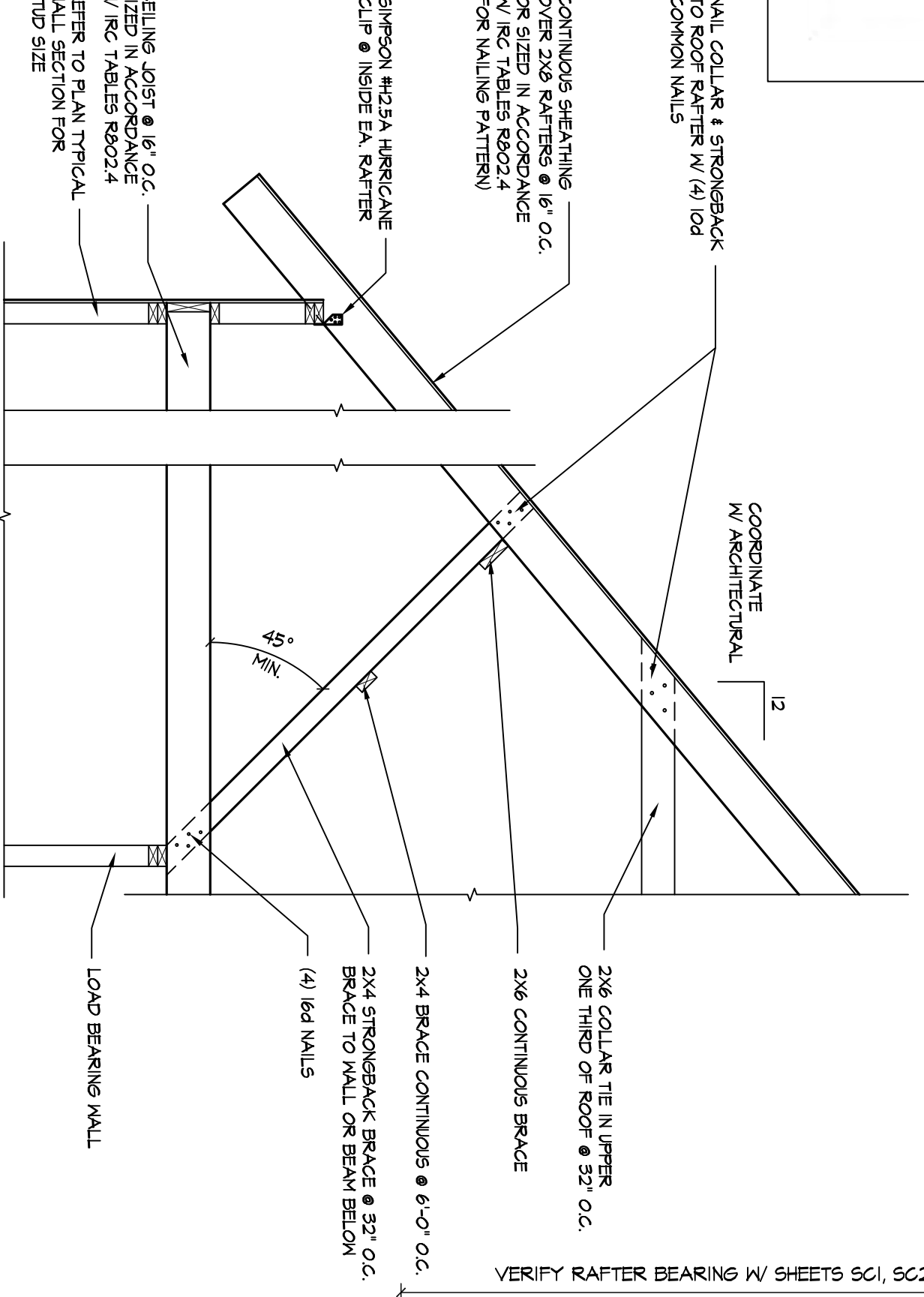
NOTE: ALL SIMPSON METAL CLIPS, TIES AND STRAPS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS RECOMMENDED INSTALLATION



2) TYPICAL SHEATHING INSTALLATION PATTERN FOR SHEAR BETWEEN FLOORS



3) TYPICAL SHEATHING NAILING PATTERN



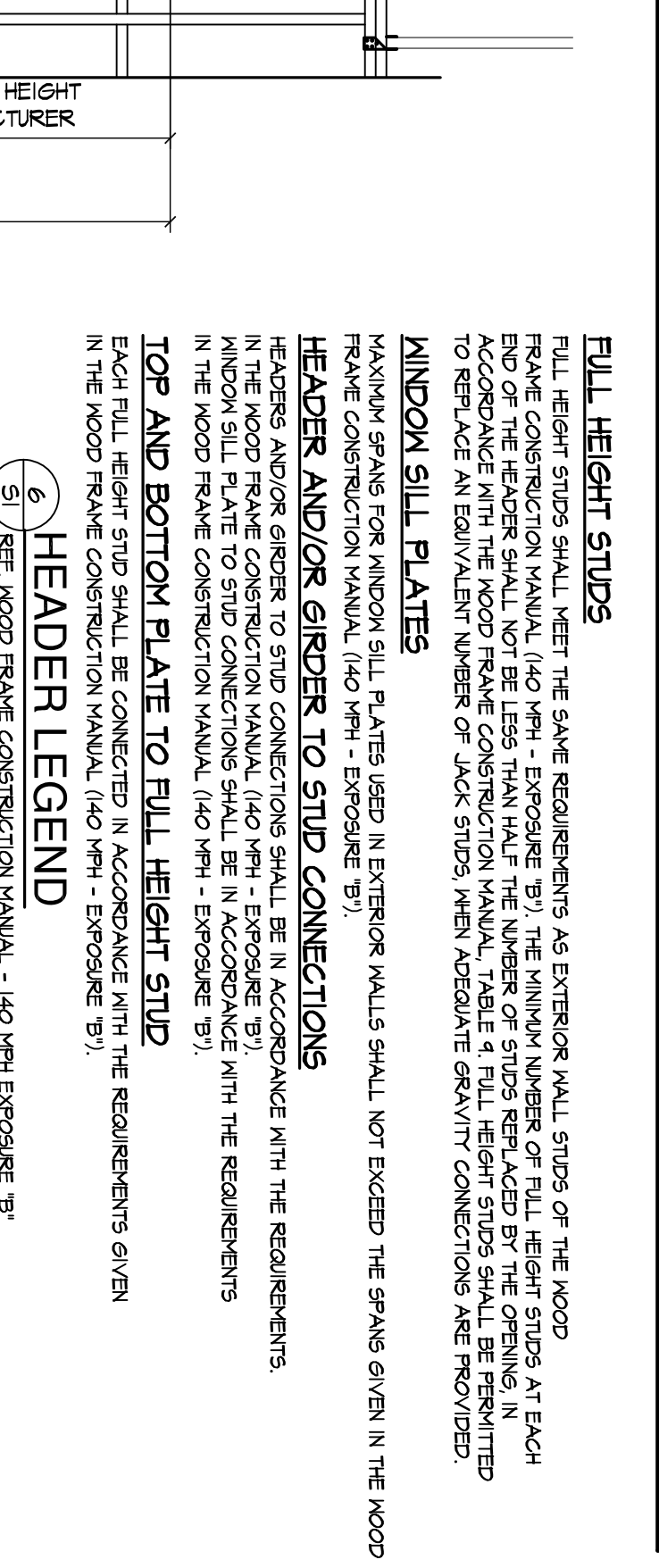
4) TYPICAL ROOF BRACING

HEADERS IN LOAD BEARING WALLS

HEADER SPAN (ft)	MINIMUM HEADER SIZE	REQUIREMENT AT EACH END OF HEADER	
		NUMBER OF FULL-HEIGHT STUDS	UPLIFT (lb) / LATERAL (lb)
2	2 - 2x4	1	364 / 97
3	2 - 2x4	2	546 / 236
4	2 - 2x4	2	728 / 314
5	2 - 2x4	3	910 / 393
6	2 - 2x6	3	1092 / 471
7	2 - 2x6	3	1274 / 550
8	3 - 2x6	3	1456 / 628
9	3 - 2x6	3	1638 / 707
10	4 - 2x6	4	1820 / 785

HEADERS IN NON-LOAD BEARING WALLS & WINDOW SILL PLATES

HEADER SPAN (ft)	MINIMUM HEADER SIZE	REQUIREMENT AT EACH END OF HEADER	
		NUMBER OF FULL-HEIGHT STUDS	UPLIFT (lb) / LATERAL (lb)
2	1 - 2x4 (FLAT)	1	60 / 97
3	1 - 2x4 (FLAT)	2	40 / 236
4	1 - 2x4 (FLAT)	2	120 / 314
5	1 - 2x4 (FLAT)	3	150 / 393
6	1 - 2x6 (FLAT)	3	180 / 471
7	1 - 2x6 (FLAT)	3	210 / 550
8	2 - 2x6 (FLAT)	3	240 / 628
9	2 - 2x6 (FLAT)	3	270 / 707
10	2 - 2x6 (FLAT)	4	300 / 785
11	2 - 2x6 (FLAT)	4	330 / 864



5) USING SIMPSON #CMST2 STRAPPING

6) HEADER LEGEND

FILL HEIGHT STUDS
 FULL HEIGHT STUDS SHALL MEET THE SAME REQUIREMENTS AS EXTERIOR WALL STUDS OF THE WOOD FRAME CONSTRUCTION MANUAL. (140 MPH - EXPOSURE 'B')
 END OF THE HEADER SHALL NOT BE LESS THAN HALF THE NUMBER OF STUDS REQUIRED BY THE OPENING, IN ACCORDANCE WITH THE WOOD FRAME CONSTRUCTION MANUAL, TABLE 4 FULL HEIGHT STUDS SHALL BE PERMITTED TO REPLACE AN EQUIVALENT NUMBER OF JACK STUDS WHEN ADEQUATE GRAVITY CONNECTIONS ARE PROVIDED.

WINDOW SILL PLATES
 MAXIMUM SPANS FOR WINDOW SILL PLATES USED IN EXTERIOR WALLS SHALL NOT EXCEED THE SPANS GIVEN IN THE WOOD FRAME CONSTRUCTION MANUAL. (140 MPH - EXPOSURE 'B').

HEADER AND/OR GIRDER TO STUD CONNECTIONS
 HEADERS AND/OR GIRDERS TO STUD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS IN THE WOOD FRAME CONSTRUCTION MANUAL. (140 MPH - EXPOSURE 'B').
 WINDOW SILL PLATE TO STUD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS IN THE WOOD FRAME CONSTRUCTION MANUAL. (140 MPH - EXPOSURE 'B').

TOP AND BOTTOM PLATE TO FILL HEIGHT STUD
 EACH FILL HEIGHT STUD SHALL BE CONNECTED IN ACCORDANCE WITH THE REQUIREMENTS GIVEN IN THE WOOD FRAME CONSTRUCTION MANUAL. (140 MPH - EXPOSURE 'B').

THE CEILING / ATTIC JOISTS WILL BE:
 2x6s @ 16" o.c. UP TO 10' SPAN
 2x6s @ 16" o.c. UP TO 14'-0" SPAN
 2x10s @ 16" o.c. UP TO 16' SPAN
 2x12s @ 16" o.c. UP TO 20' SPAN

THE ROOF RAFTERS WILL BE:
 2x6s @ 16" o.c. UP TO 8'-0" (UNBROKEN) SPAN
 2x6s @ 16" o.c. UP TO 12'-0" (BROKEN) SPAN
 2x8s @ 16" o.c. UP TO 16'-0" (BROKEN) SPAN
 2x10s @ 16" o.c. UP TO 20' SPAN

THE EXTERIOR WALL STUDS SCHEDULE: (FOR V = 130MPH)
 2x6s @ 16" o.c. AT THE WALLS WITH THE PLATE HEIGHT UP TO 4'-1/2"
 2x6s @ 16" o.c. AT THE WALLS WITH THE PLATE HEIGHT UP TO 14'-1/2"
 2x6s @ 16" o.c. AT THE WALLS WITH THE PLATE HEIGHT UP TO 16'-1/2"
 NOTES:
 LUMBER SPECIES AND GRADE
 STUDS - NO. 2 OR BETTER, SPRUCE, FIR, SYP, 16" O.C. MAX.
 NON-BEARING PARTITIONS - NO. 3 ANY SPECIES, 16" O.C. MAX.
 JOIST/RAFTER/TIE - NO. 2 OR BETTER SYP, 16" O.C. MAX.
 SHEATHING
 1/2" CDX #2 LAY WALL SHEATHING HORIZONTALLY WITH ALL EDGES SUPPORTED BY STUDS OR HORIZONTAL BRACING.
 FOLLOW IRC 2018, USE MANUFACTURED SUPPLIED FASTENERS FOR CLIPS AND TIES.

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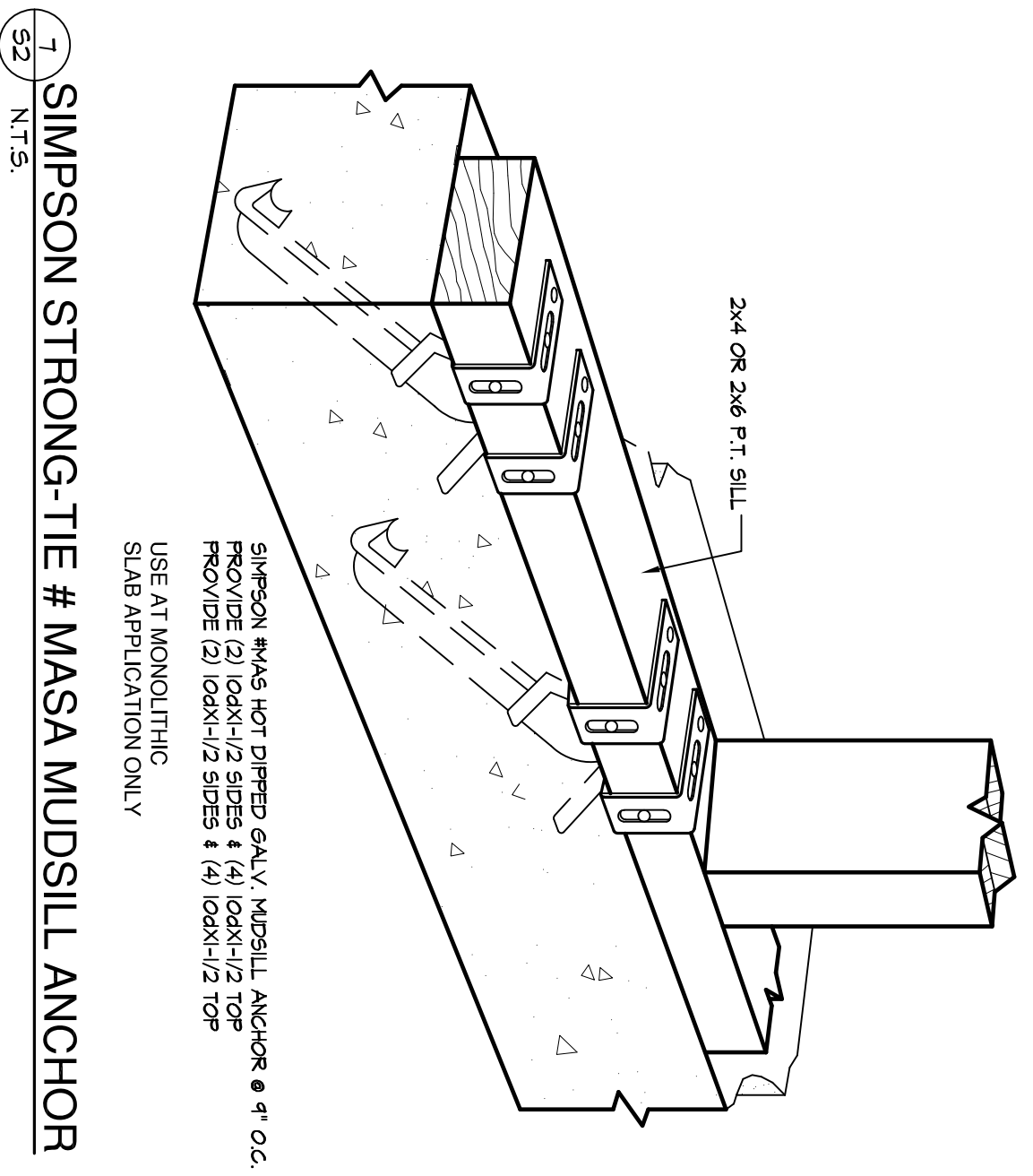
A NEW RESIDENCE FOR MR. & MRS. ROBERT BECK
 LOT # 12 * 84 BLUFF VIEW DRIVE * "KINGSALE BLUFF"
 BRYAN COUNTY, GEORGIA

JOANN GREEN DESIGNS, LLC.
 901 WOODSIDE XING., SAVANNAH, GEORGIA 31405
 (912) 655-6248 joann.green.designs@gmail.com

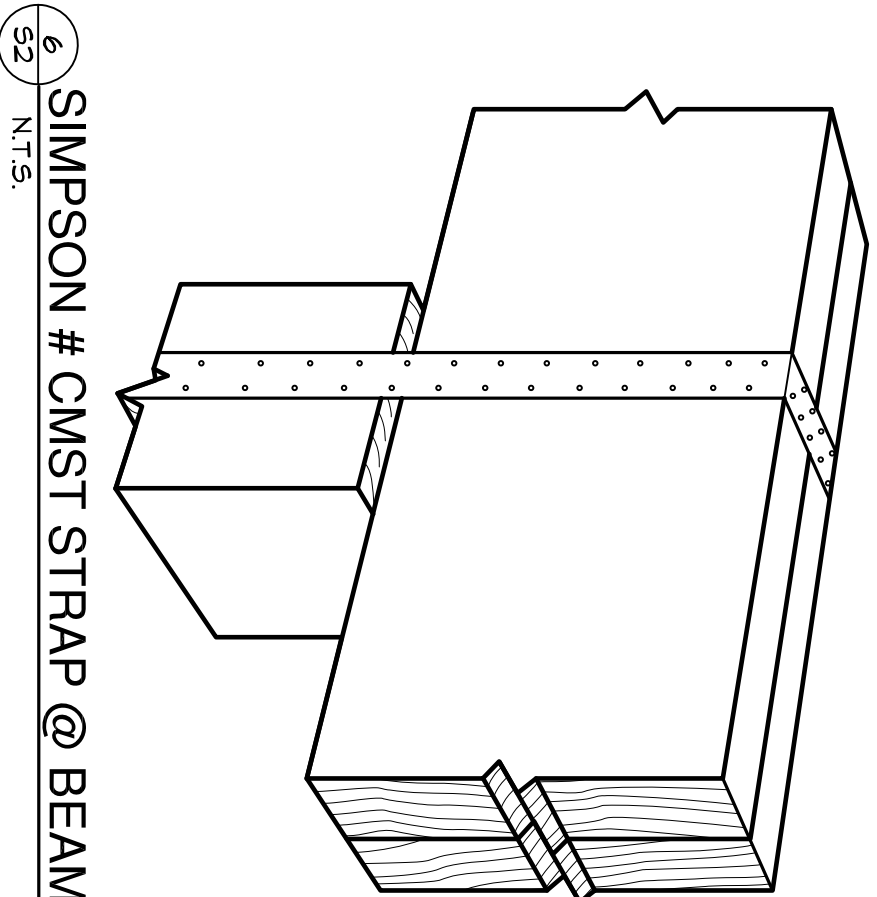
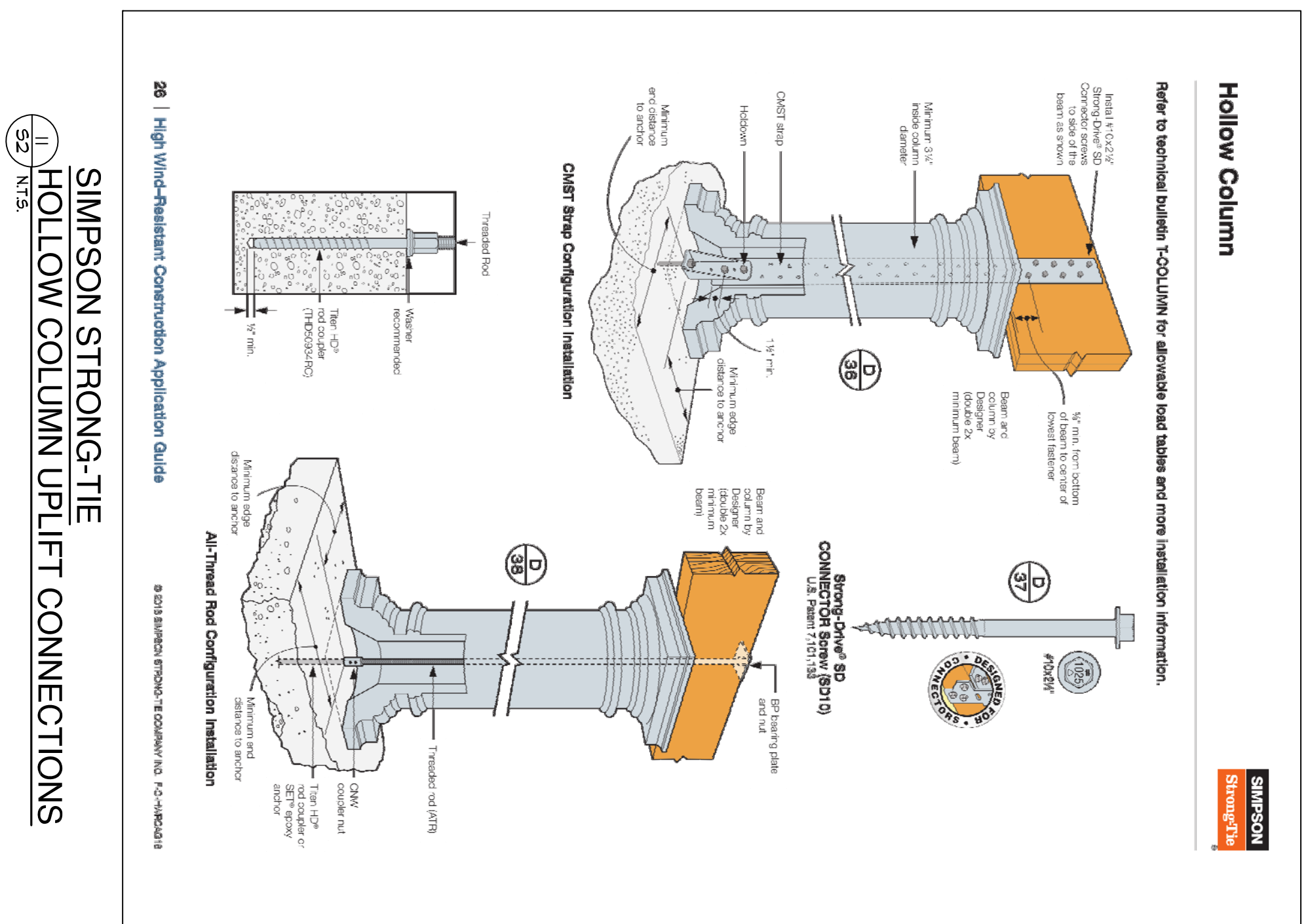
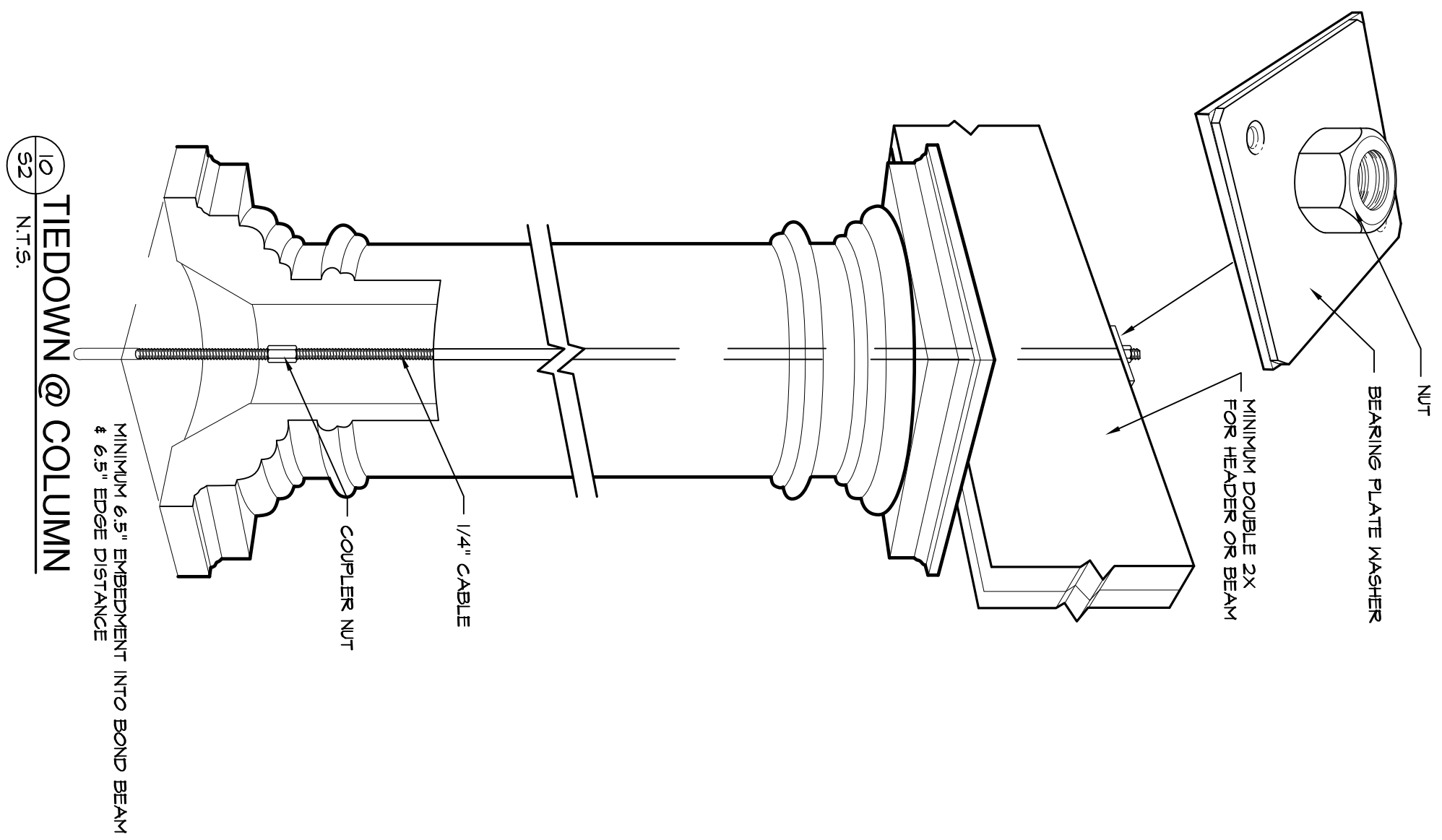
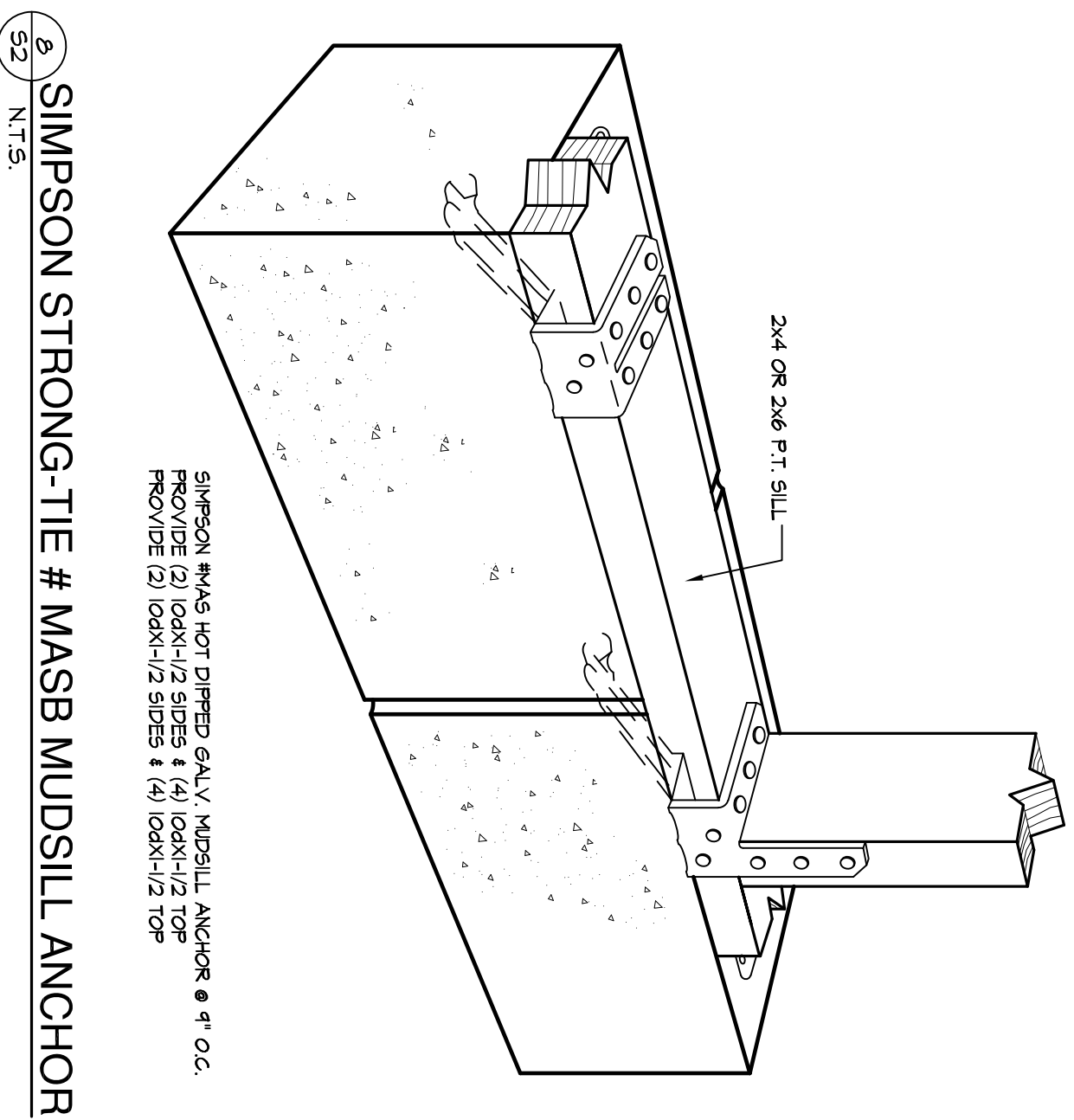
DESIGNED BY: J.B.G.	DRAWN BY: J.B.G.	CHECKED BY: J.B.G.	DATE: 9/16/21
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STRUCTURAL	REVISIONS 1/1/20/21	SHEET NO. S1 OF
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ALT. MONOLITHIC ANCHOR

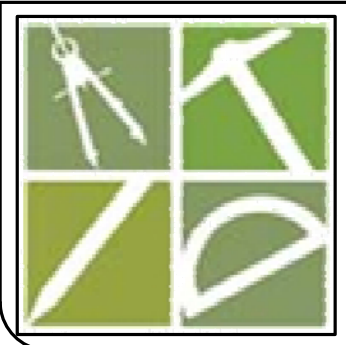


ALT. STEM WALL ANCHOR



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DESIGNED BY: J.B.G. DRAWN BY: J.B.G. CHECKED BY: J.B.G. DATE: 9/16/21

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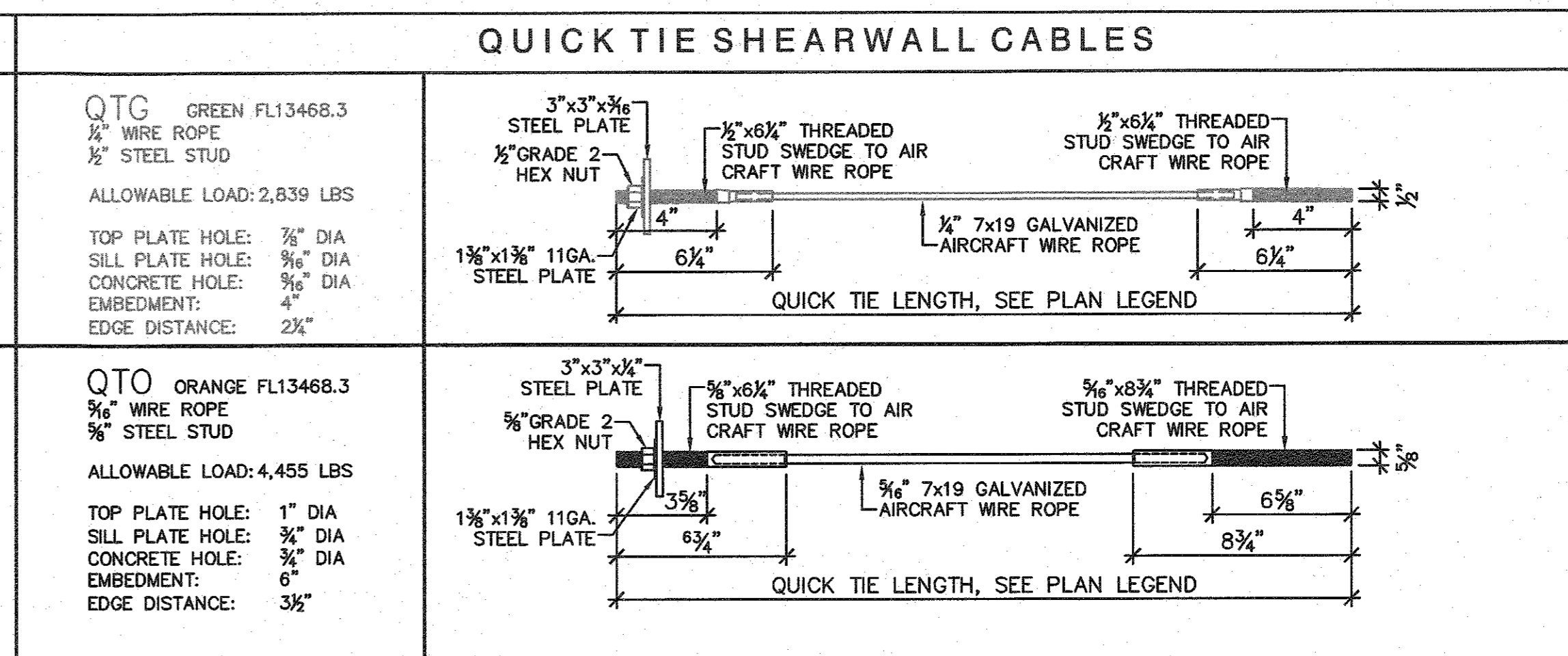
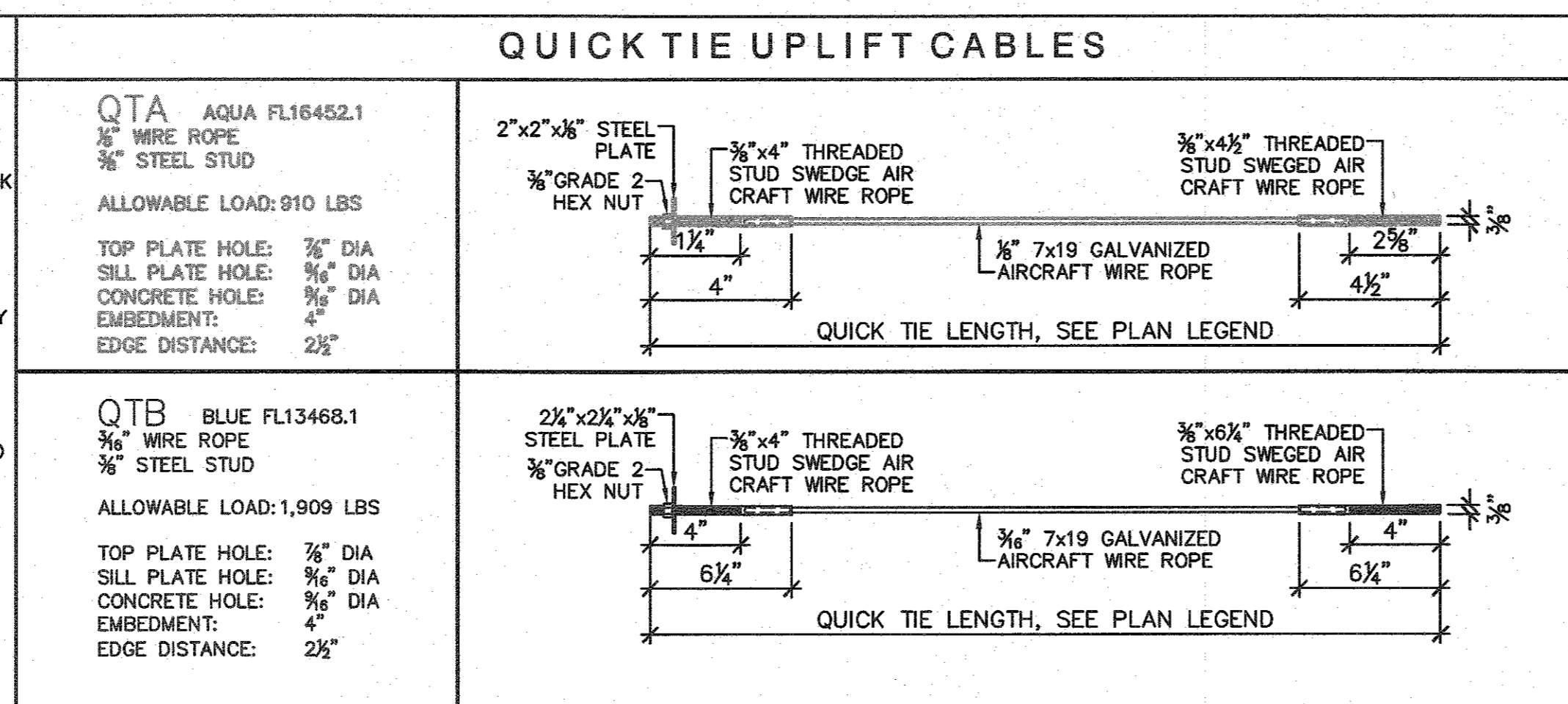
REVISIONS
 1/18/21

SHEET NO.
S2
 OF

SPACING/UPLIFT CONNECTION

#/TRUSS PLATE CONNECTORS	TRUSS UPLIFT LOAD (LBS)	QTA SPACING (24" O.C.)	QTB SPACING	QTG SPACING
HA4	MTS12	(24" O.C.)	FT/IN	FT/IN
1	1	0-225	8'-0"	8'-0"
1	1	225-300	6'-0"	8'-0"
1	1	301-400	4'-6"	8'-0"
1	1	401-450	4'-0"	7'-6"
1	1	451-500	3'-6"	7'-0"
1	1	501-625	3'-0"	6'-6"
2	1	626-675	3'-0"	6'-0"
2	1	676-750	2'-6"	5'-0"
2	1	751-825	2'-0"	4'-6"
2	1	826-925	N/A	5'-0"
2	2	926-1100	N/A	3'-6"
2	2	1101-1250	N/A	3'-0"
2	2	1251-1400	N/A	2'-6"
3	2	1401-1600	N/A	2'-0"
3	2	1601-1875	N/A	3'-0"

CONNECTION NOTES:
1. SPACE ALL QUICKTIES AS SPECIFIED IN TABLE FOR ALL WALLS SUBJECT TO UPLIFT LOADS.
2. LOADS IN TABLE REQUIRE A MINIMUM 1/2" THICK GYPSUM WALL BOARD ON EACH SIDE OF THE WALL FASTENED TO STUDS w/ 1 1/2" LONG WALLBOARD NAILS SPACED AT 6" O.C. AT EDGES AND 12" O.C. IN THE FIELD. THE EXACT LOCATION CAN CHANGE SLIGHTLY AS LONG AS MAXIMUM SPACING BETWEEN ANY TWO QUICK TIES DOES NOT EXCEED 8 +/- 3 ON EITHER SIDE. THEREFORE, AN ABSOLUTE MAXIMUM SPACING OF 8'-6" IS ACCEPTABLE.
3. ALL QUICKTIES SHOULD BE INSTALLED ACCORDING TO THESE SPECIFICATIONS. QUICKTIES SPECIFIED IN TABLE ARE EMBEDDED INTO MINIMUM 2500 PSI CONCRETE USING AN EPOXY CAPABLE OF RESISTING THE GIVEN LOADS.

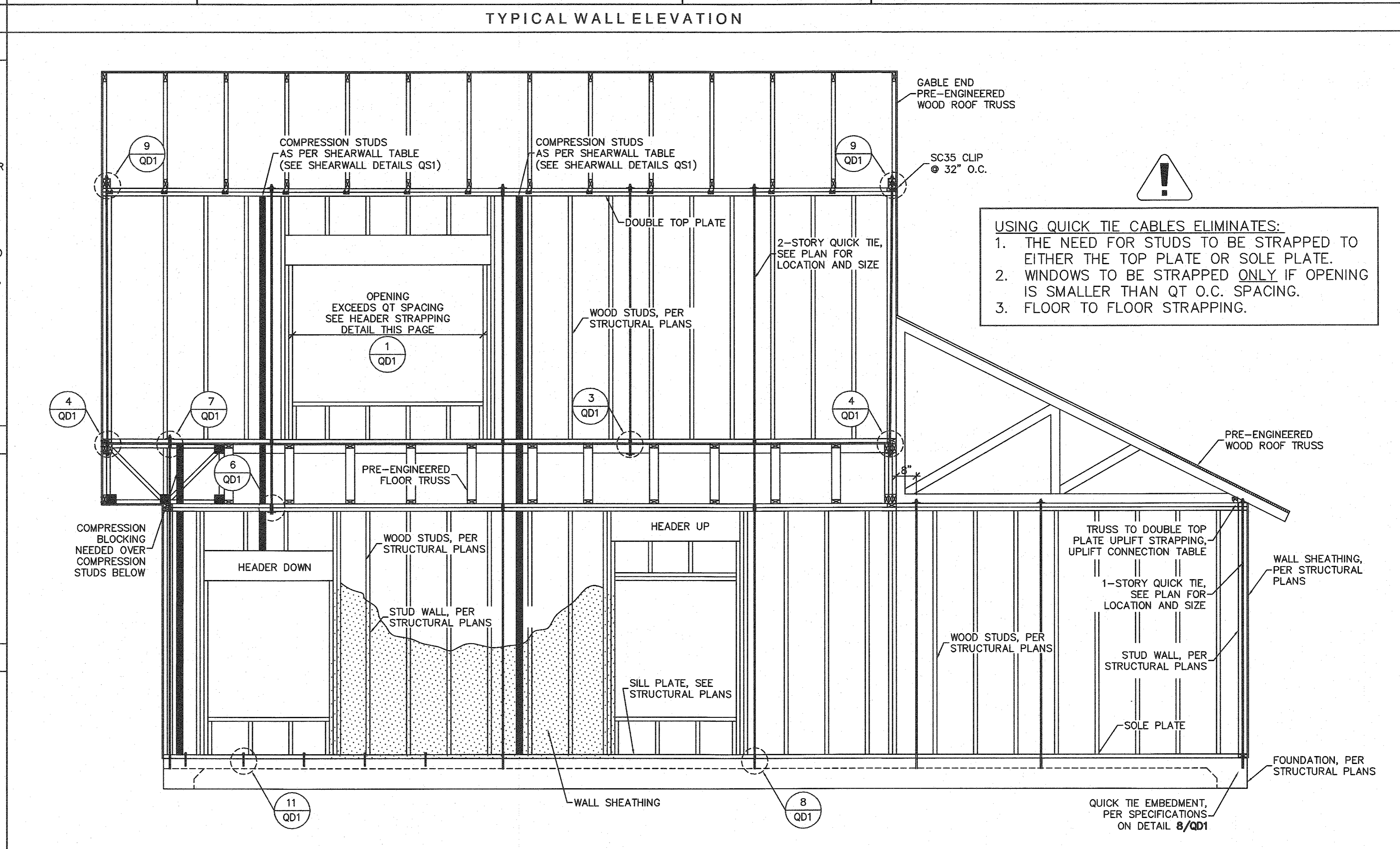
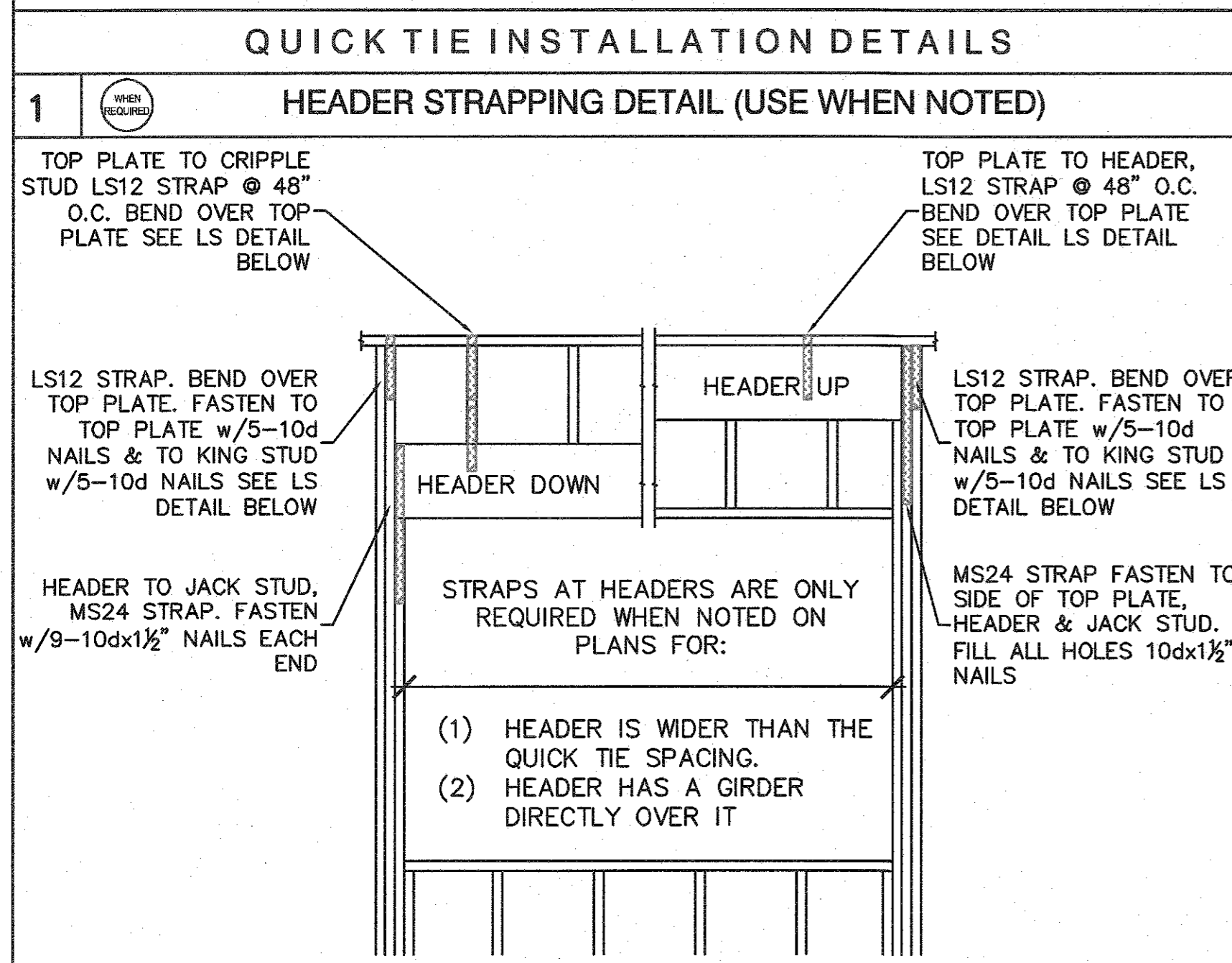


QUICK TIE SYSTEMS
1330 VANTAGE WAY
JACKSONVILLE, FLORIDA 32218
Phone: (904) 281-0525 Fax: (904) 281-0528
WWW.QUICKTIEPRODUCTS.COM

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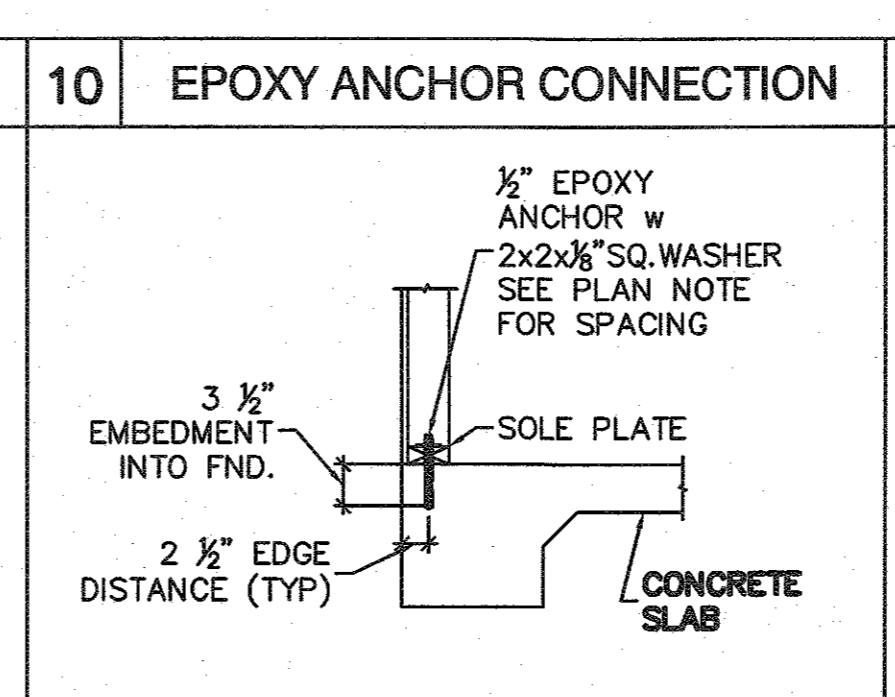
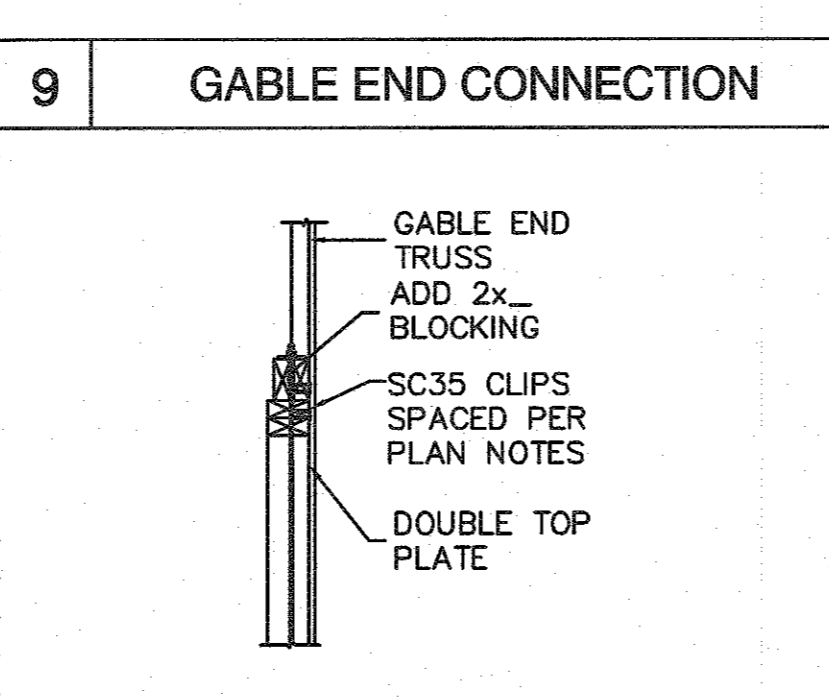
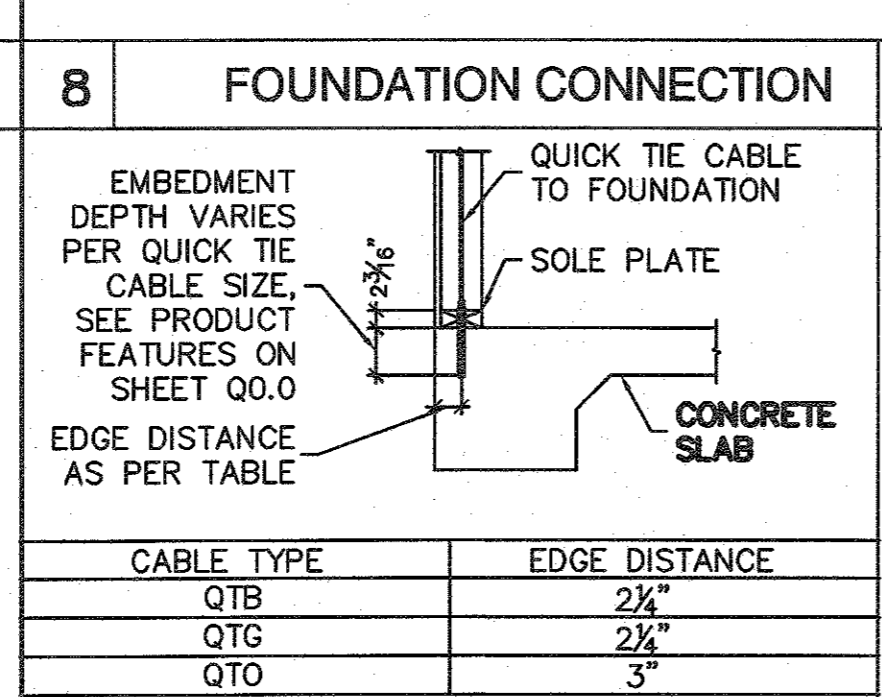
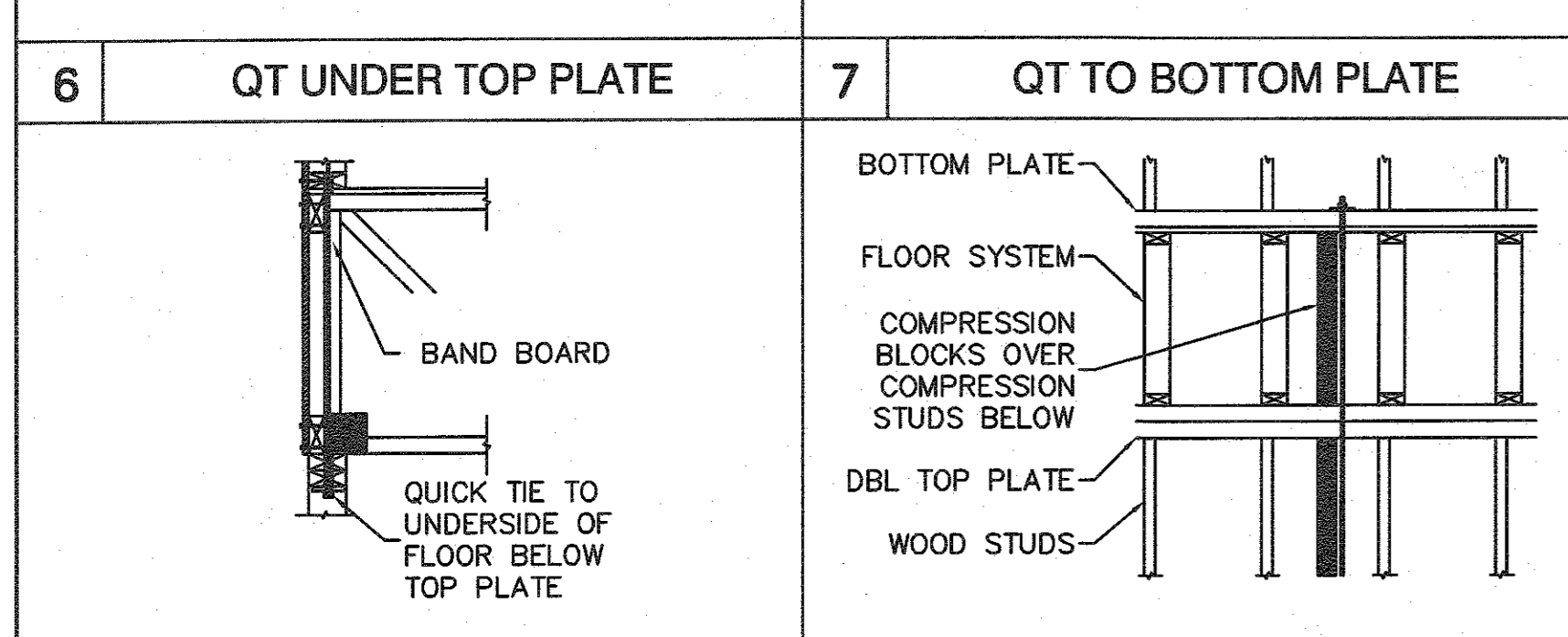
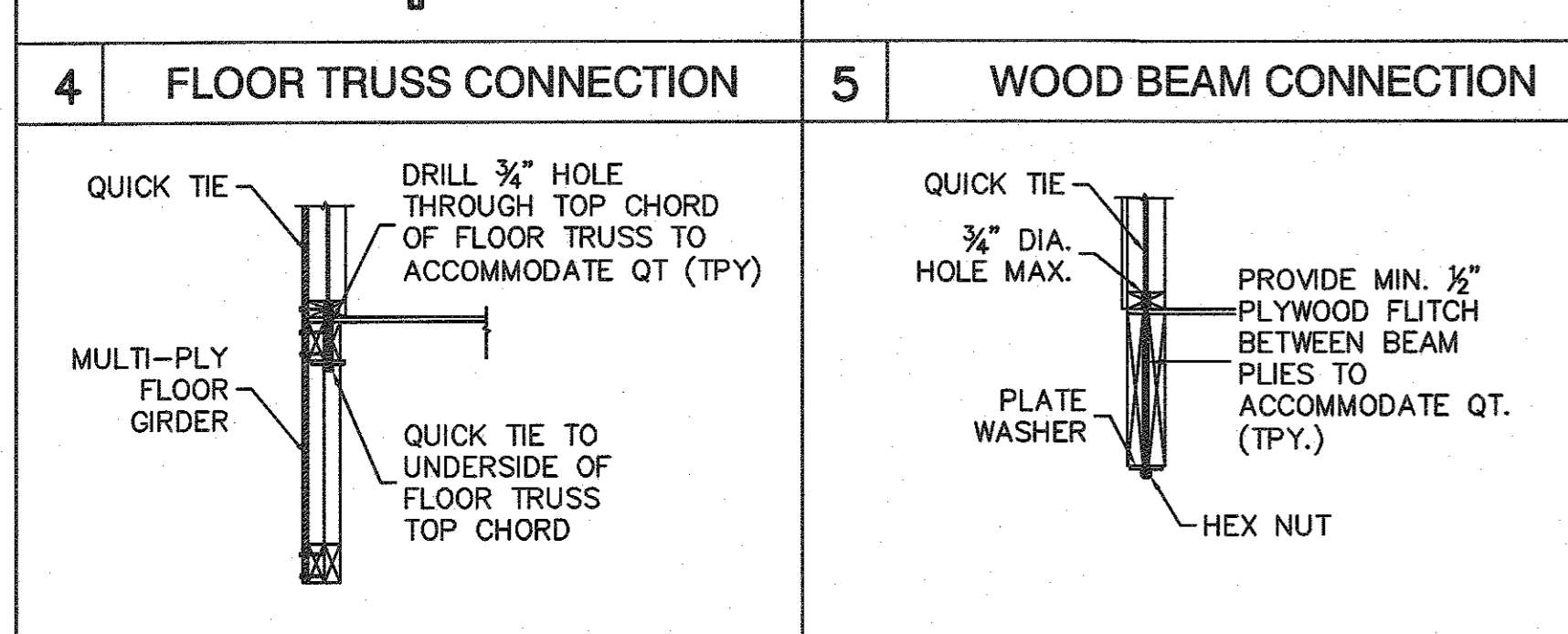
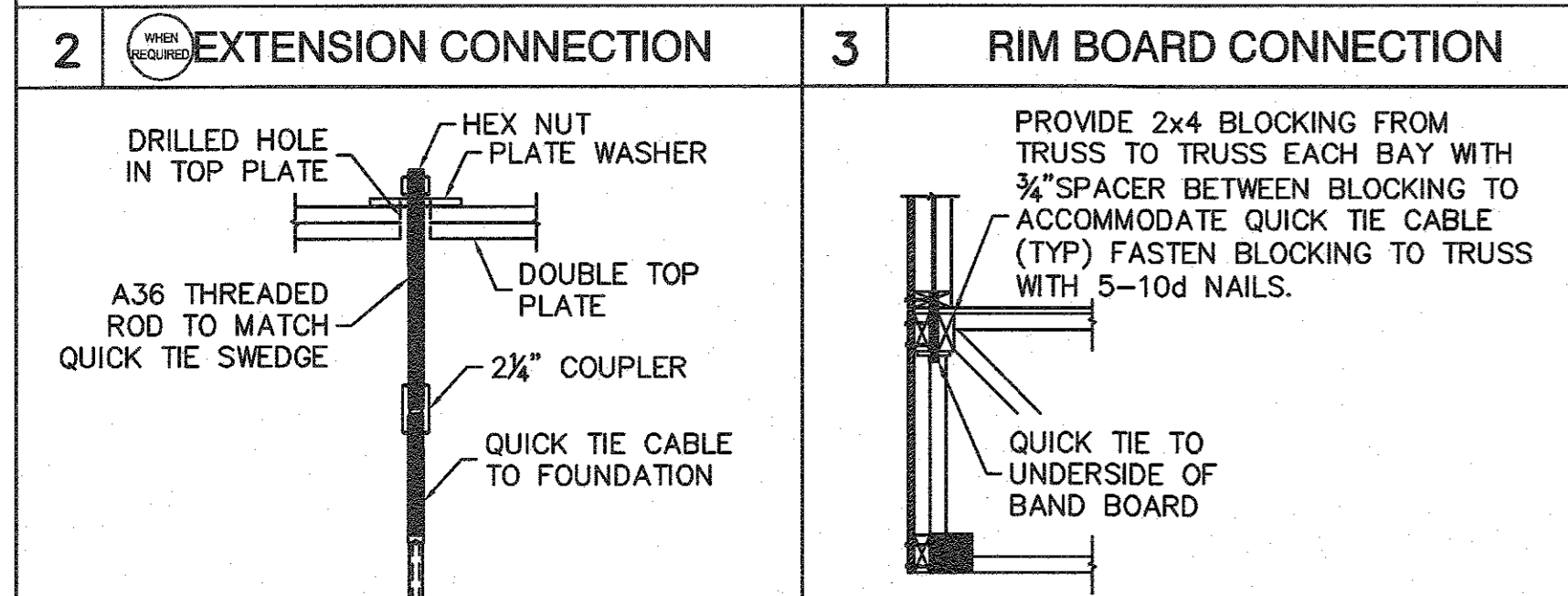
BUILDER
SEE PLANS

STRUCTURAL
SEE PLANS



USING QUICK TIE CABLES ELIMINATES:

1. THE NEED FOR STUDS TO BE STRAPPED TO EITHER THE TOP PLATE OR SOLE PLATE.
2. WINDOWS TO BE STRAPPED ONLY IF OPENING IS SMALLER THAN QT O.C. SPACING.
3. FLOOR TO FLOOR STRAPPING.



11 QUICK TIE DESIGN NOTES

1. FOR ONE STORY INSTALL 1-(QTB-3/8") AND FOR TWO STORY INSTALL 1-(QTG-1/2") IN EACH WALL AT CORNERS OF BUILDING
2. AT GARAGE DOOR INSTALL 1-(QTO 5/8") BOTH BOTH SIDES OF GARAGE OPENING
3. ONLY STRAP WINDOWS PER 1/QD1 IF THE OPENING IS GREATER THEN THE O.C. SPACING OF THE QUICK TIE UPLIFT CABLES.
4. USE 1/2" SOLE PLATE ANCHORS IN ALL BEARING WALLS.
5. FASTEN TRUSS TO TOP PLATE WITH HA4 OR EQUIVALENT.

12 QUICK TIE UPLIFT SPACING

1. BUILDING WITH TRUSS UPLIFT 675 LBS AND BELOW: SPACE QUICK TIE UPLIFT CABLES (QTB-3/8") AT 6'-0" OR (QTG-1/2") AT 7'-0" ON CENTER
2. BUILDING WITH TRUSS UPLIFT FROM 676-925 LBS: SPACE QUICK TIE UPLIFT CABLES (QTB-3/8") AT 4'-0" OR (QTG-1/2") AT 5'-0" ON CENTER
3. BUILDING WITH TRUSS UPLIFT FROM 926-1,400 LBS: SPACE QUICK TIE UPLIFT CABLES (QTG-1/2") AT 3'-6" ON CENTER

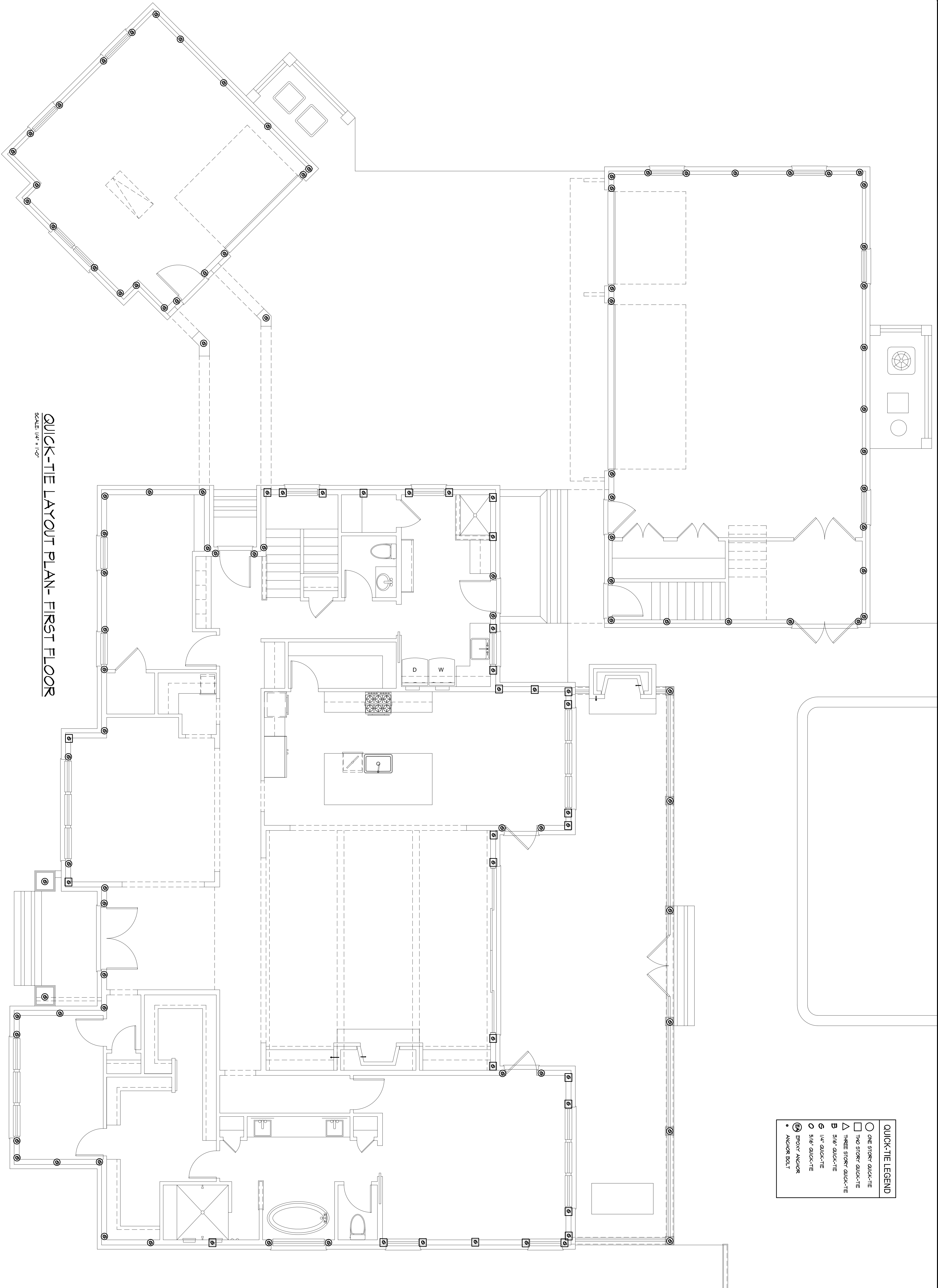
QUICK TIE PRODUCTS PRESCRIPTIVE INSTALLATION DESIGN

DESIGN CRITERIA
BUILDING CODE: SEE PLAN

WIND SPEED: SEE PLAN
CATEGORY: SEE PLAN
EXPOSURE CATEGORY: SEE PLAN

GENERAL NOTES AND SPECIFICATIONS

QD1



QUICK-TIE LAYOUT PLAN - FIRST FLOOR
SCALE: 1/4" = 1'-0"

QUICK-TIE LEGEND	
○	ONE STORY QUICK-TIE
□	TWO STORY QUICK-TIE
△	THREE STORY QUICK-TIE
B	5/8" QUICK-TIE
S	1/4" QUICK-TIE
○	5/8" QUICK-TIE
⊕	EPOXY ANCHOR
⊕	ANCHOR BOLT

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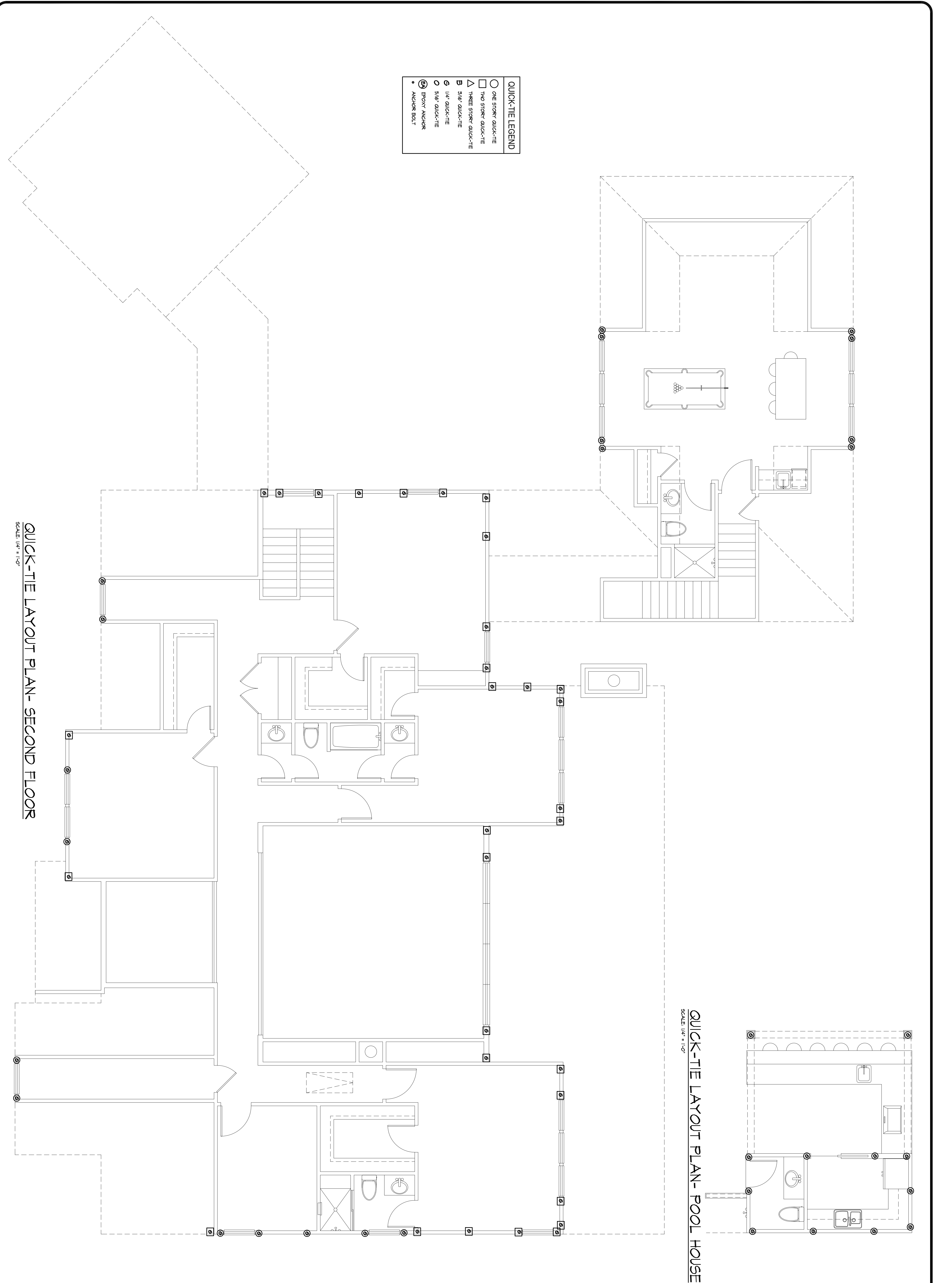
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 7/12/22

SHEET NO.
QT1
 OF

QUICK-TIE LEGEND	
○	ONE STORY QUICK-TIE
□	TWO STORY QUICK-TIE
△	THREE STORY QUICK-TIE
B	5/8" QUICK-TIE
⊖	1/4" QUICK-TIE
⊖	5/16" QUICK-TIE
⊖	EPOXY ANCHOR
•	ANCHOR BOLT

QUICK-TIE LAYOUT PLAN- SECOND FLOOR
SCALE: 1/4" = 1'-0"

QUICK-TIE LAYOUT PLAN- POOL HOUSE
SCALE: 1/4" = 1'-0"



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QT2
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